





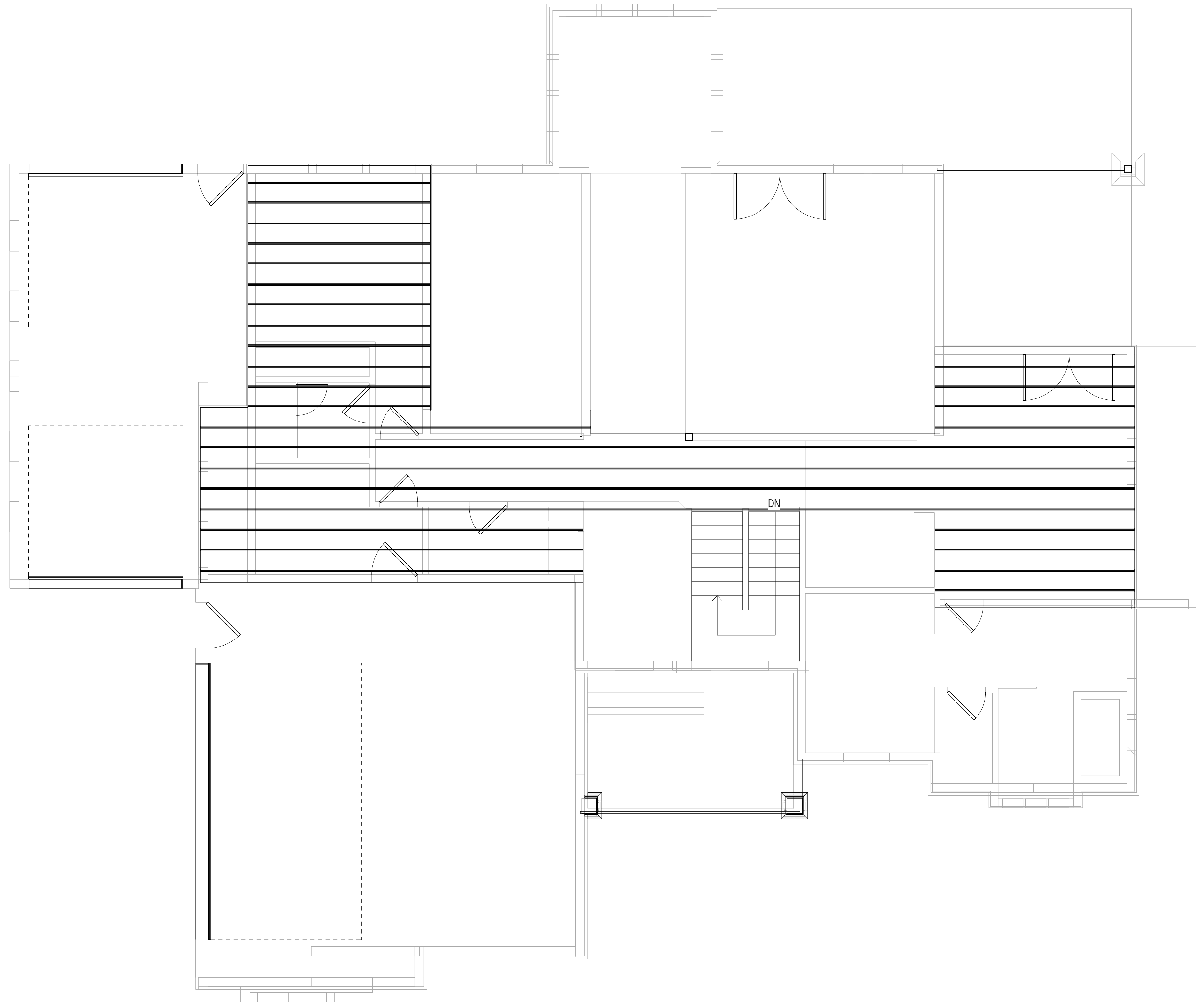
1 | 2 | 3 | 4 | 5 | 6

A

B

C

D



**1** UPPER FLOOR FRAMING  
SCALE: 1/4" = 1'-0"

**FLOOR SHEATHING NOTES**

1. TYPICAL FLOOR SHEATHING SHALL BE 3/4" T&G OSB NAILED WITH 8d NAILS @ 6" o.c. ON ALL EDGES, AND @ 12" o.c. ALONG INTERMEDIATE FRAMING MEMBERS.
2. SOLID JOIST BLOCKING REQUIRED AT ALL BEARING POINTS.
3. INSTALL FLOOR SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH END JOINTS STAGGERED.
4. USE DOUBLE FLOOR JOISTS UNDER ALL LOAD BEARING WALLS RUNNING PARALLEL WITH FLOOR JOISTS.
5. USE DOUBLE FLOOR JOISTS UNDER ALL SHEAR WALLS RUNNING PARALLEL WITH FLOOR JOISTS. NAIL BOTTOM PLATE TO JOISTS w. 16d NAILS @ 3" o.c.
6. USE DOUBLE JOISTS TO SOLID BLOCK UNDER ALL SHEAR WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS. NAIL BOTTOM PLATE TO BLOCKING w/ 16d NAILS @ 3" o.c.



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**LOCKWOOD RESIDENCE**

Lot 78 Steeple Chase

**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**


**SHEET NAME**

UPPER FLOOR FRAMING

**S103**

NOT FOR CONSTRUCTION



**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**

NO.	DESCRIPTION

**SHEET NAME**

BASEMENT FLOOR PLAN

**AE101**

**NOT FOR CONSTRUCTION**

**FLASHING NOTES:**

1. PROVIDE METAL FLASHING OR 15 LB FELT BETWEEN WOOD EXTERIOR WALL SHEATHING, FLOOR SHEATHING OR FLOOR JOISTS AND CONCRETE SLABS, PORCH CAPS, LANDINGS OR STAIRS.
2. PROVIDE A WEATHER-RESISTANT BARRIER ON ALL EXTERIOR WALLS. BARRIER MUST BE LAPPED 2" ON HORIZONTAL JOINTS AND 6" ON VERTICAL JOINTS. BARRIER SHALL CONSIST OF 1 LAYER OF 14 LB. ASPHALT SATURATED FELT, COMPLYING WITH ASTM 226 OR OTHER APPROVED WEATHER-RESISTANT MATERIAL.
3. PROVIDE APPROVED CORROSION RESISTANT FLASHING TO EXTERIOR WALL ENVELOPE. FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED AS TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE.
4. FLASHING SHALL BE INSTALLED AT:
  - A. TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.
  - B. INTERSECTIONS OF CHIMNEYS, BRICK VENEER, FRAME AND STUCCO CONSTRUCTION AND PROJECTION STUCCO COPING.
  - C. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WOOD WALL OR FLOOR ASSEMBLY.
  - D. WALL AND ROOF INTERSECTIONS AND AT BUILT IN GUTTERS.
5. PROVIDE EXTERIOR WINDOWS, DOORS AND OTHER OPENINGS WITH FLASHING AND COUNTER FLASHING. CAULK WINDOWS AND DOORS ACCORDING TO MANUFACTURERS INSTALLATION INSTRUCTIONS.

**BASEMENT GENERAL NOTES:**

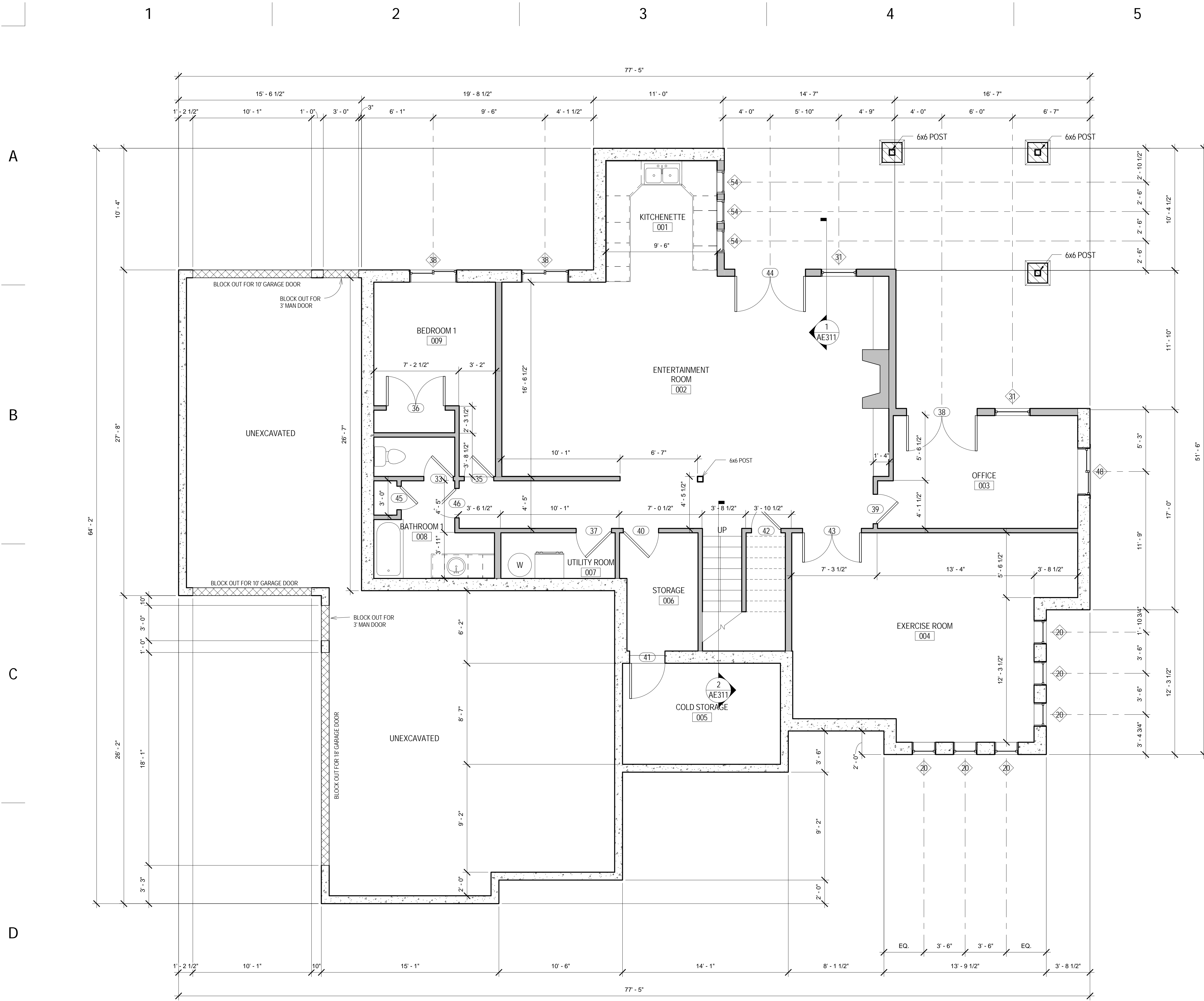
1. TILE ALL BATHROOMS AND LAUNDRY. ALL OTHER FINISHED AREAS TO HAVE CARPET.
2. HEAT LOSS CALCULATIONS TO BE PROVIDED BY HVAC SUBCONTRACTOR.
3. NAME, MAKE, MODEL, BTU'S AND EFFICIENCY OF FURNACE TO BE COORDINATED WITH OWNER AND HVAC SUBCONTRACTOR.
4. HVAC SUBCONTRACTOR TO PROVIDE DRAWING OF FURNACE AND WATER HEATER VENTING; INCLUDING HEIGHT, SIZE AND TYPE OF VENTS.
5. ALL CEILINGS ARE 9'-0" ABOVE FINISH FLOOR, U.N.O.
6. BACKWATER VALVES: FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVICING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS. IRC P3008.1.
7. ACCESS PANEL OPENINGS FOR JETTED TUB PUMPS OR MOTORS MUST BE 18" X 18" WHERE EQUIPMENT IS MORE THAN 2' FROM ACCESS OPENING AND 12" X 12" IF SUCH EQUIPMENT IS LESS THAN 2' FROM ACCESS OPENING.
8. ALL EXTERIOR CONCRETE WALLS SHALL BE INSULATED W/ R-11 BATT INSULATION.

**BASEMENT KEYNOTES:**

- 1 FLOOR DRAIN
- 2 PROVIDE DRY VENTING TO PLUMBING VENTS ON MAIN FLOOR - AS SHOWN
- 3 SEE STRUCTURAL PLANS FOR SIZE & LOCATION OF COLUMNS & HEADERS
- 4 (2) 40 GAL. QUICK RECOVERY GAS FIRED WATER HEATER
- 5 PROVIDE CUSTOM GUARDRAIL +36" W/ SPACES SUCH THAT A 4" DIA. SPHERE SHALL NOT PASS - SEE SECTION FOR DIMENSIONING
- 6 FURNACE SERVING BASEMENT LEVEL & MAIN FLOOR - PROVIDE COMBUSTION AIR FROM OUTSIDE
- 7 HOT WATER LINES TO HAVE 1/2" FOAM INSULATION
- 8 SECURE TOP & BOTTOM 1/3 OF WATER HEATER W/ APPROVED SEISMIC STRAPS & INSTALL EXPANSION TANK PER LOCAL REQUIREMENTS
- 9 FLUE TO ROOF TO SERVE WATER HEATER & FURNACE
- 10 FOOTING & FOUNDATION - SEE STRUCTURAL FOR SIZES
- 11 PROVIDE SOLID BLOCKING BEHIND ALL CABINETS
- 12 DOUBLE SINK - IF PLUMBING MANIFOLD SYSTEM IS BEING USED, SYSTEM MUST BE ACCESSIBLE

**FLOOR PLAN GENERAL NOTES:**

1. DIMENSIONS ARE TO THE FACE OF EXISTING FINISH, NEW STUD OR GRIDLINE.
2. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
3. DO NOT SCALE DRAWINGS.
4. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
5. PROVIDE 5/8" TYPE "X" GYP BOARD @ ALL WALLS AND STRINGERS UNDER STAIRS THAT ARE TO BE USED AS STORAGE.
6. PROVIDE 5/8" TYPE "X" GYP BOARD BETWEEN GARAGE AND ALL LIVING AREAS @ ALL WALLS, CEILINGS AND BEAMS W/ 1 COAT FIRETAPE MIN (TYP)
7. COORDINATE WINDOW LOCATIONS WITH FOUNDATION PLAN AND PROVIDE WINDOW WELLS PER WINDOW WELL NOTES ON A100.
8. PROVIDE CEMENT, FIBER-CEMENT, OR GLASS MAT GYP BACKERS FOR ALL WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
9. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" O.C., U.N.O.



**1 BASEMENT**  
SCALE: 1/4" = 1'-0"

**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**

NO.	DESCRIPTION

**SHEET NAME**

MAIN FLOOR PLAN

**AE102**

**NOT FOR CONSTRUCTION**

**FLOOR PLAN KEY NOTES:**

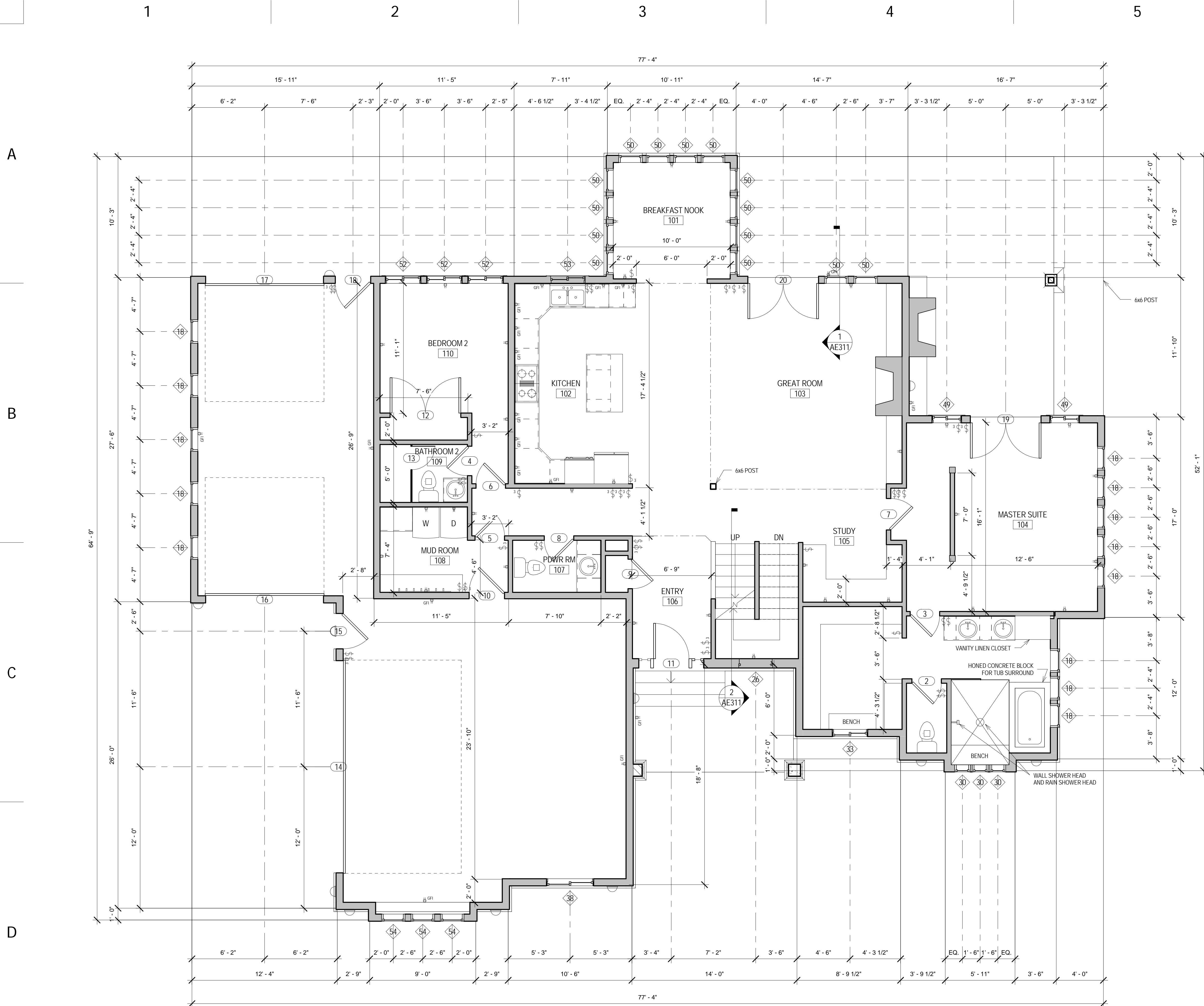
- 1 CANTILEVER. SEE FRAMING
- 2 8" SELF SUPPORTING SLAB
- 3 ZERO CLEARANCE DIRECT VENT FIRE PLACE W/ C.T. HEARTH & SURROUND
- 4 COVERED VERANDA - PEDESTRIAN DECK SYSTEM, ALUMINUM SOFFIT
- 5 LINE OF FLOOR ABOVE
- 6 PROVIDE CUSTOM GUARDRAIL +36" W/ SPACES SUCH THAT A 4" DIAMETER SPHERE SHALL NOT PASS
- 7 PROVIDE 5/8" TYPE 'X' GYP BOARD BETWEEN GARAGE AND ALL LIVING AREAS ON ALL BEAMS, WALLS, & CEILINGS (NAIL @ 6" O.C.) W/ (1) COAT FIRETAPE MIN. PROVIDE (2) LAYERS 5/8" TYPE 'X' GYP BOARD ON CEILINGS WHERE 1" JOISTS ARE USED ABOVE
- 8 4" CONCRETE SLAB - SLOPE SLAB MIN. 1/8" PER FOOT, MAX 1/4" PER FOOT - SLOPE TOWARD GARAGE DOOR WHERE APPLICABLE
- 9 WOOD OVERHEAD DOOR W/ OPENER
- 10 PROVIDE CONCRETE STEPS AS REQUIRED
- 11 SLOPE DECK 1/8" PER FOOT AWAY FROM HOUSE
- 12 MUD SET C.T. TUB SURROUND OVER CEMENT, FIBER-CEMENT, OR GLASS MAT GYP BACKERS
- 13 BEAM ABOVE. SEE FRAMING
- 14 CABINET QUALITY LINEN
- 15 SHOWER DOOR MUST HAVE CLEAR OPENING OF 22"
- 16 FLOOR DRAIN
- 17 ALL WATER LINES TO COME OUT OF FLOOR (NOT IN EXTERIOR WALLS)
- 18 VENT OVEN RANGE HOOD TO OUTSIDE
- 19 HOSE BIB - FROST PROOF
- 20 DOUBLE SINK W/ GARBAGE DISPOSAL - PROVIDE POWER & SWITCH FOR GARBAGE DISPOSAL
- 21 VENT DRYER TO OUTSIDE
- 22 HYDRO MASSAGE BATHTUB - MUST HAVE ACCESS LARGE ENOUGH TO REMOVE PUMP MOTOR
- 23 FLUE TO ROOF TO SERVE WATER HEATER & FURNACE
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- 25 EXTERIOR GAS LINES

**FLOOR PLAN GENERAL NOTES:**

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8. PROVIDE CEMENT, FIBER-CEMENT, OR GLASS MAT GYP BACKERS FOR ALL WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
9. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" O.C., U.N.O.

**GENERAL FRAMING NOTES**

1. THE CONTRACTOR SHALL USE THE GRADES OF LUMBER SPECIFIED IN THE BEAM SCHEDULES LISTED ON DRAWING. DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED, ANY OTHER CHANGES MUST BE APPROVED BY THE ENGINEER.
2. (2) 2"x10" DF#2 OR BETTER WITH FILLER SHALL BE USED FOR ALL LOADBEARING WINDOW AND DOOR HEADERS UNLESS NOTED OTHERWISE ON DRAWING. TIMBERSTRAND LSL HEADERS MAY BE SUBSTITUTED FOR THE (2) 2"x10" DF#2 OR BETTER.
3. (2) 1-3/4"x9-1/2" LVLs SHALL BE USED FOR ALL HEADERS SUPPORTING A GIRDER TRUSS UNLESS NOTED OTHERWISE ON DRAWING.
4. ALL MULTIPLE BEAMS AND HEADERS SHALL BE NAILED USING 2 ROWS OF 16d NAILS @ 12" o.c.
5. ALL POINT LOADS SHALL BE SOLID BLOCKED TO THE FOUNDATION.
6. USE DOUBLE TRIMMERS TO SUPPORT BEAMS AND HEADERS GREATER THEN 6' UNLESS NOTED OTHERWISE ON DRAWINGS.
7. USE SIMPSON OR EQUIVALENT HARDWARE TO CONNECT BEAMS 6' AND LONGER TO STUDS OR POSTS.
8. THE CONTRACTOR SHALL FOLLOW THE MINIMUM FASTENING SCHEDULE LISTED IN THE IBC TABLE 2304.9.1.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE 2007 IBC.
10. WHEN BRICK OR STONE VENEER IS APPLIED OVER WOOD STUD WALLS THE STUDS SHALL BE NOT MORE THAN 16" o.c. AND WEATHER BARRIER SHALL BE FIRST APPLIED OVER THE SHEATHING.
11. U.B.C. SECTION 1403.6.4.2.
11. ALL STUCCO SYSTEMS USED MUST BE INSTALLED AS PER THE MANUFACTURERS REQUIREMENTS AND STANDARDS AND WITH APPROVED PRODUCTS APPROVED BY AN ICBO CERTIFICATION.
12. PROVIDE ICE AND WATER SHIELD FROM EDGE OF EAVE TO A POINT A MINIMUM OF 24" INSIDE OF WALL. USE APPROVED ICE AND WATER SHIELD PRODUCTS ONLY.
13. PROVIDE 9" COUNTERFLASHING AND SEALANT TO ALL EXTERIOR DOORS AND WINDOWS.



**1 MAIN FLOOR**  
SCALE: 1/4" = 1'-0"

**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**

NO.	DESCRIPTION

**SHEET NAME**

UPPER FLOOR PLAN

**AE103**

NOT FOR CONSTRUCTION

**GENERAL FRAMING NOTES**

1. THE CONTRACTOR SHALL USE THE GRADES OF LUMBER SPECIFIED IN THE BEAM SCHEDULES LISTED ON DRAWING. DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED, ANY OTHER CHANGES MUST BE APPROVED BY THE ENGINEER.
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**FLOOR PLAN KEY NOTES:**

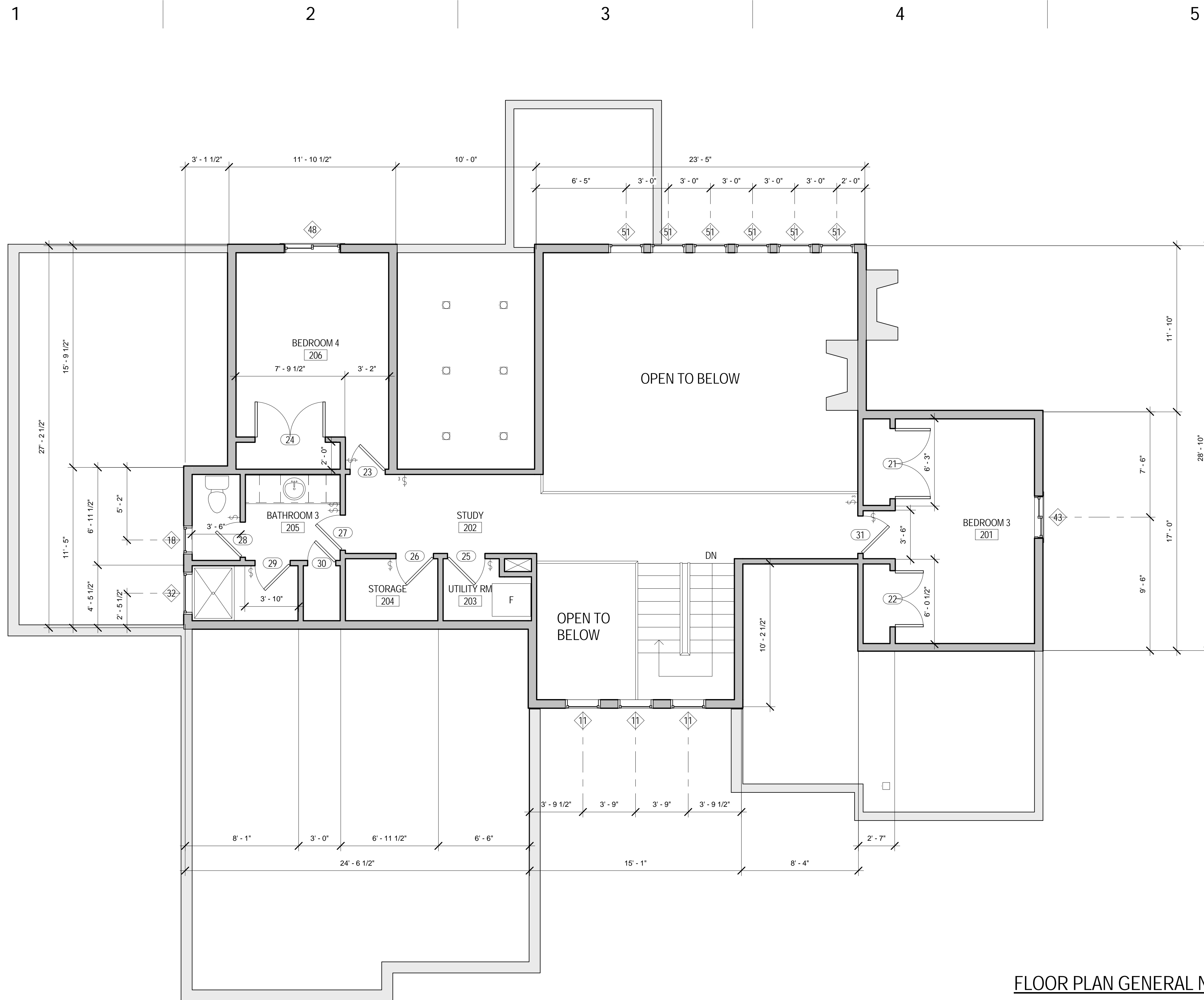
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9. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" O.C., U.N.O.

**MECcheck COMPLIANCE REQUIREMENT**

DESCRIPTION	INSULATION R-VALUE	DOOR / WINDOW U-VALUE
BASEMENT CEILING	R-19	
BLOWN INSULATION OVER LIVING AREA	R-19	
EXTERIOR STUD WALLS 2X6 STUDS	R-19	
BATT INSULATION OVER LIVING AREA	R-38	
FLOOR OVER GARAGE AREAS INSULATION	R-30	
EXTERIOR DOORS		U-0.400
WINDOWS AND FRENCH DOORS		U-0.250
FURNACE EFFICIENCY	BASEMENT, MAIN AND UPPER FLOORS = 90%	



**1 UPPER FLOOR**  
SCALE: 1/4" = 1'-0"

### ROOF SHEATHING NOTES

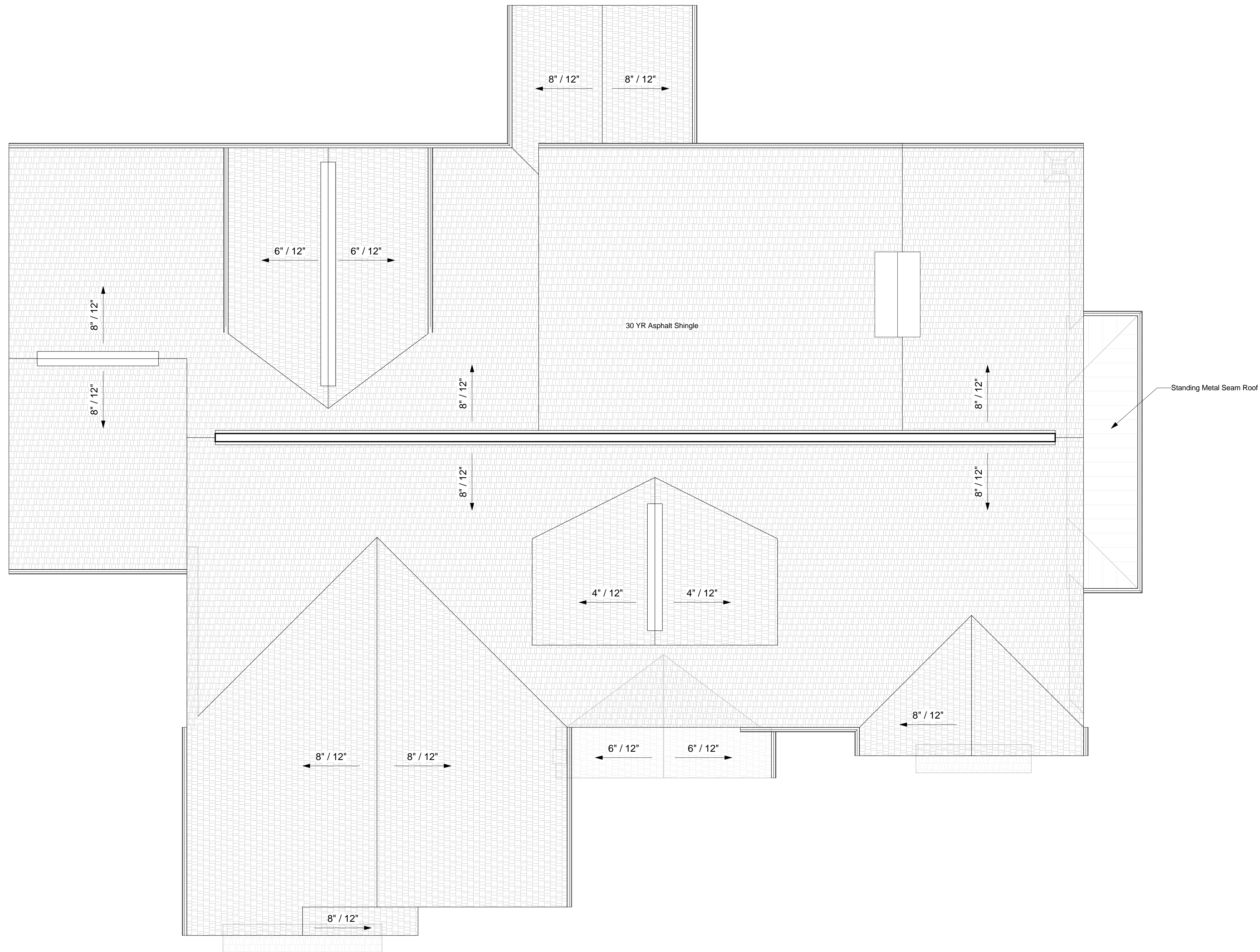
- 1. SHEATHING SHALL BE 15/32", 24/16, APA RATING SHEATHING. NAIL w/ 8d @ 6" o.c. 3/8" FROM EDGE OF PANEL AT ALL PANEL ENDS, SUPPORTED EDGES, SHEARWALL TOPS, AND ALL BLOCKING. NAIL @ 12" o.c. ALONG INTERMEDIATE FRAMING MEMBERS.
- 2. LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH STAGGERED END JOINTS.

### TRUSS NOTES

- 1. ROOF TRUSSES SHALL BE DESIGNED TO MEET THE LOADS SPECIFIED IN THE DESIGN CRITERIA. ALL TRIBUTARY, DRIFT, UNBALANCED SHOW, MECHANICAL, ETC., LOADS SHALL BE CONSIDERED IN THE DESIGN PER IBC 2000.
- 2. THE CONTRACTOR SHALL BLOCK BETWEEN TRUSSES AND CONNECT EACH TRUSS TO WALL TOP PLATE WITH SIMPSON H1 CONNECTORS.
- 3. ACUTAL ROOF FRAMING PLAN MAY DIFFER FROM DRAWING DEPENDING ON DESIGN OF TRUSSES FROM TRUSS COMPANY.
- 4. ANY CHANGES TO THE TRUSS CONFIGURATION SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
- 5. ALL ENGINEERING TRUSS SUBMITTALS SHALL BE STAMPED BY A ENGINEER LICENSED IN THE STATE OF UTAH.

#### Beam Schedule

Mark	Size	Grade
B4	2-2 x10	DF #2
B5	2-1 3/4 x 9 1/2	LSL 1500Fb
B6	2-1 3/4 x 11 7/8	LVL 2800 Fb
B7	2-1 3/4 x 14	LVL 2800 Fb
B9	5 1/8 x 16 1/2	GLB 24 Fb



A

B

C

D

1 ROOF  
SCALE: 1/4" = 1'-0"



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**LOCKWOOD RESIDENCE**

Lot 78 Steeple Chase

#### PROJECT INFO

Project #: 0003  
 Date: 3/24/2011  
 Drawn By: BA  
 Reviewed By: -  
 P.M.: -

#### REVISIONS

NO.	DESCRIPTION

#### SHEET NAME

ROOF PLAN

**AE104**

NOT FOR CONSTRUCTION

PROJECT INFO

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

REVISIONS


SHEET NAME

ELEVATIONS

ELEVATION GENERAL NOTES:

1. WATERPROOF BELOW GRADE AS PER 2003 I.R.C. (SEE A6/AS101 GENERAL NOTES SECTION A).
2. CAULK AND FLASH ALL DOOR AND WINDOW OPENINGS (SEE A6/AS101 GENERAL NOTES SECTION B).
3. PROVIDE CONT. ALUM RAIN GUTTER AROUND ENTIRE ROOF. COORD. DOWNSPOUT LOCATIONS W/ CONTRACTOR (SEE A6/AS101 GENERAL NOTES A.5).
4. LOCATE 12"x12" ATTIC VENTS W/ INSECT SCREENS ALONG RIDGE AT REAR OF HOME 1 FOR EVERY 150 SF OF AREA BEING VENTILATED. COORD. LOCATION W/ CONTRACTOR (SEE A6/AS101 GENERAL NOTES SECTION C.5).
5. PROVIDE RAILING/GUARDRAIL PER IRC 2006. HANDRAILS SHALL BE PLACED NOT LESS THAN 2'-10" ABOVE STAIR NOSING AND NOT MORE THAN 3'-2" ABOVE STAIR NOSING (SEE A6/AS101 GENERAL NOTES SECTION E).
6. USE MANUFACTURER APPROVED PAINTS, SEALANTS, OR ALTERNATIVE WATERPROOFING MATERIAL TO ENSURE PROTECTION OF EXTERIOR GLULAMS.

ELEVATION KEY NOTES:

- 1 50 YEAR ASPHALT SHINGLES OVER 30# FELT - PROVIDE ICE SHIELD AT ALL VALLEYS AND A MINIMUM OF 24" BEYOND INSIDE OF WALL UP ROOF AND ALL EAVES
- 2 'SHAKERTOWN' SHINGLE TEXTURED EVEN BUTT SIDING PANELS - COORDINATE STAIN COLOR W/ BUILDER
- 3 PROVIDE CUSTOM GUARDRAIL +36" W/ ALL SPACES SUCH THAT A 4" DIA. SPHERE SHALL NOT PASS THROUGH
- 4 DRYSTACK LEDGESTONE O/ GRADE 'D' BLDG PAPER (SEE DETAIL XXXXXX)
- 5 RIP RAP ROCK RETAINING AS REQUIRED - SUB-CONTRACTOR TO SUBMIT REQD ENGINEERING AND CONSTRUCTION INSPECTION SCHEDULE @ TIME OF INSTALLATION (SEE DETAIL XXXXXX)
- 6 INSULATED WOOD OVERHEAD GARAGE DOOR W/ OPENER
- 7 8" SUPENDED CONCRETE PORCH
- 8 ASHLAR STONE VENEER O/ GRADE 'D' BLDG PAPER (SEE DETAIL XXXXXX)
- 9 I.C.B.O. APPROVED E.I.F.S. O/ TYVEK® STUCCO WRAP (TYP)
- 10 STONE VENEER O/ (2) LAYERS GRADE 'D' BLDG PAPER (SEE DETAIL XXXXXX)
- 11 STONE WAINSCOT O/ (2) LAYERS GRADE 'D' BLDG PAPER (SEE DETAIL XXXXXX)
- 12 CONTINUOUS BRICK SILL (TYP)
- 13 13 - 6" BUILT OUT E.I.F.S. MITERED TRIM (TYP)
- 14 8" BUILT OUT E.I.F.S. FRIEZE TRIM (TYP)
- 15 HARDIESHINGLE STAGGERED EDGE NOTCHED PANEL - INSTALLATION SPACE A MAX. OF 24" O.C. OR DIRECTLY TO MIN. 7/16" THICK O.S.B. SHEATHING - SEE MANUFACTURER'S SPECIFICATIONS
- 16 HARDIETRIM TO BE INSTALLED O/ WEATHER-RESISTIVE BARRIER PER MANUFACTURER'S SPECIFICATIONS
- 17 HARDIEPANEL OR HARDIEPLANK LAP SIDING TO BE COORDINATED W/ CONTRACTOR AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- 18 HARDIEPANEL BOARD & BATTEN TO BE COORDINATED W/ CONTRACTOR AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- 19 DIRECT VENT FIREPLACE
- 20 STANDING SEAM METAL ROOF OVER 30# FELT - PROVIDE ICE SHIELD AT ALL VALLEYS AND A MINIMUM OF 24" BEYOND INSIDE OF WALL UP ROOF AND ALL EAVES
- 21 FINISH GRADE - SLOPE AWAY FROM HOUSE FOR A DISTANCE OF 10'-0" MIN. TYP.
- 22 SAND PLASTER EXPOSED CONCRETE FOUNDATION WALL



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**


**SHEET NAME**

ELEVATIONS

**AE202**

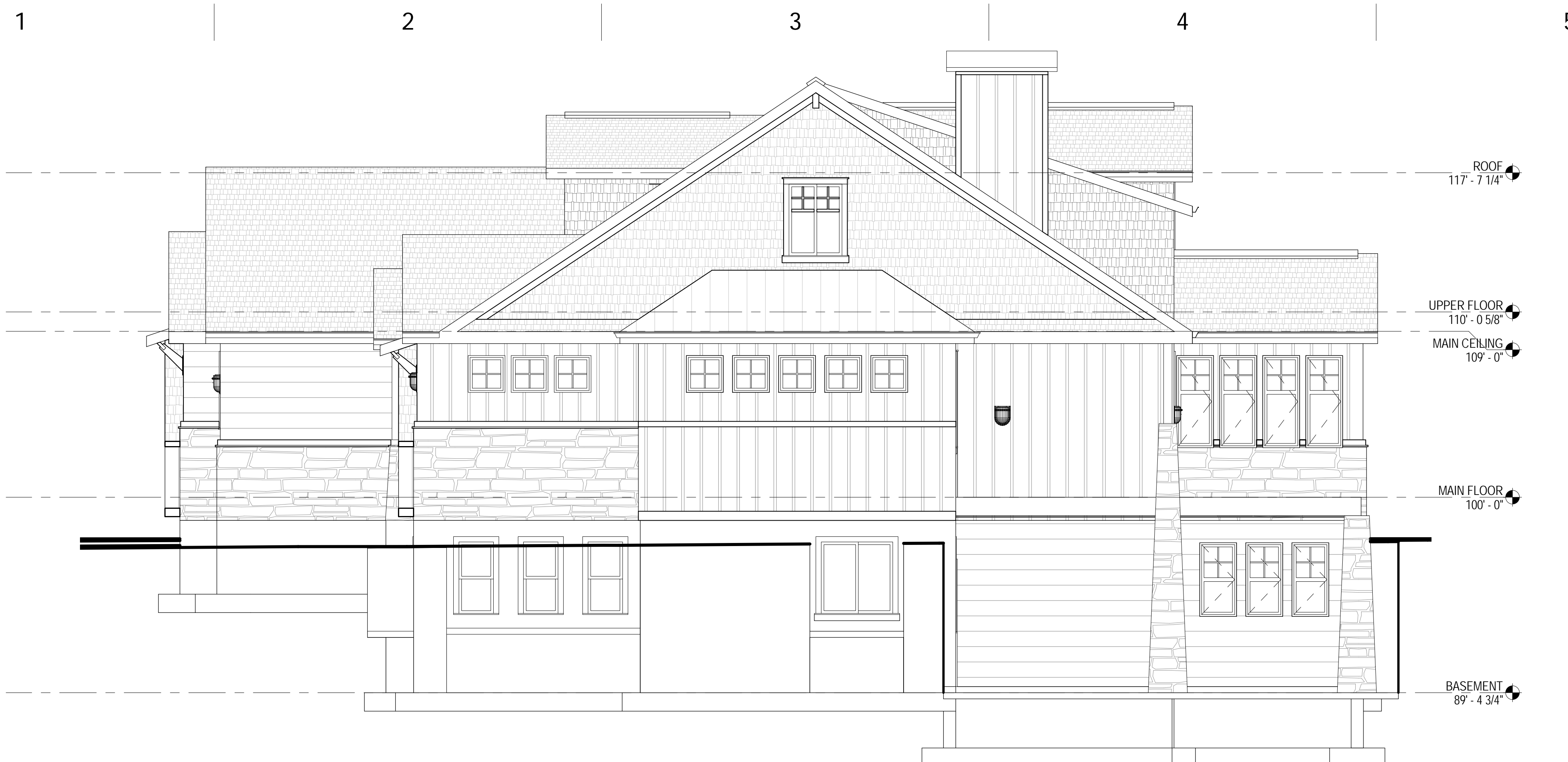
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**ELEVATION GENERAL NOTES:**

1. WATERPROOF BELOW GRADE AS PER 2003 I.R.C. (SEE A6/AS101 GENERAL NOTES SECTION A).
2. CAULK AND FLASH ALL DOOR AND WINDOW OPENINGS (SEE A6/AS101 GENERAL NOTES SECTION B).
3. PROVIDE CONT. ALUM RAIN GUTTER AROUND ENTIRE ROOF. COORD. DOWNSPOUT LOCATIONS W/ CONTRACTOR (SEE A6/AS101 GENERAL NOTES A.5).
4. LOCATE 12"x12" ATTIC VENTS W/ INSECT SCREENS ALONG RIDGE AT REAR OF HOME 1 FOR EVERY 150 SF OF AREA BEING VENTILATED. COORD. LOCATION W/ CONTRACTOR (SEE A6/AS101 GENERAL NOTES SECTION C.5).
5. PROVIDE RAILING/GUARDRAIL PER IBC 2006. HANDRAILS SHALL BE PLACED NOT LESS THAN 2'-10" ABOVE STAIR NOSING AND NOT MORE THAN 3'-2" ABOVE STAIR NOSING (SEE A6/AS101 GENERAL NOTES SECTION E).
6. USE MANUFACTURER APPROVED PAINTS, SEALANTS, OR ALTERNATIVE WATERPROOFING MATERIAL TO ENSURE PROTECTION OF EXTERIOR GLULAMS.

**ELEVATION KEY NOTES:**

- 1 50 YEAR ASPHALT SHINGLES OVER 30# FELT - PROVIDE ICE SHIELD AT ALL VALLEYS AND A MINIMUM OF 24" BEYOND INSIDE OF WALL UP ROOF AND ALL EAVES
- 2 'SHAKERTOWN' SHINGLE TEXTURED EVEN BUTT SIDING PANELS - COORDINATE STAIN COLOR W/ BUILDER
- 3 PROVIDE CUSTOM GUARDRAIL +36" W/ ALL SPACES SUCH THAT A 4" DIA. SPHERE SHALL NOT PASS THROUGH
- 4 DRYSTACK LEDGESTONE O/ GRADE 'D' BLDG PAPER (SEE DETAIL XX/XXX)
- 5 RIP RAP ROCK RETAINING AS REQUIRED - SUB-CONTRACTOR TO SUBMIT REQD ENGINEERING AND CONSTRUCTION INSPECTION SCHEDULE @ TIME OF INSTALLATION (SEE DETAIL XX/XXX)
- 6 INSULATED WOOD OVERHEAD GARAGE DOOR W/ OPENER
- 7 8" SUSPENDED CONCRETE PORCH
- 8 ASHLAR STONE VENEER O/ GRADE 'D' BLDG PAPER (SEE DETAIL XX/XXX)
- 9 I.C.B.O. APPROVED E.I.F.S. O/ TYVEK® STUCCO WRAP (TYP)
- 10 STONE VENEER O/ (2) LAYERS GRADE 'D' BLDG PAPER (SEE DETAIL XX/XXX)
- 11 STONE WAINSCOT O/ (2) LAYERS GRADE 'D' BLDG PAPER (SEE DETAIL XX/XXX)
- 12 CONTINUOUS BRICK SILL (TYP)
- 13 13 - 6" BUILT OUT E.I.F.S. MITERED TRIM (TYP)
- 14 8" BUILT OUT E.I.F.S. FRIEZE TRIM (TYP)
- 15 HARDIESHINGLE STAGGERED EDGE NOTCHED PANEL - INSTALLATION SPACE A MAX. OF 24" O.C. OR DIRECTLY TO MIN. 7/16" THICK O.S.B. SHEATHING - SEE MANUFACTURER'S SPECIFICATIONS
- 16 HARDIETRIM TO BE INSTALLED O/ WEATHER-RESISTIVE BARRIER PER MANUFACTURER'S SPECIFICATIONS
- 17 HARDIEPANEL OR HARDIEPLANK LAP SIDING TO BE COORDINATED W/ CONTRACTOR AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- 18 HARDIEPANEL BOARD & BATTEN TO BE COORDINATED W/ CONTRACTOR AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- 19 DIRECT VENT FIREPLACE
- 20 STANDING SEAM METAL ROOF OVER 30# FELT - PROVIDE ICE SHIELD AT ALL VALLEYS AND A MINIMUM OF 24" BEYOND INSIDE OF WALL UP ROOF AND ALL EAVES
- 21 FINISH GRADE - SLOPE AWAY FROM HOUSE FOR A DISTANCE OF 10'-0" MIN. TYP.
- 22 SAND PLASTER EXPOSED CONCRETE FOUNDATION WALL



**1 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

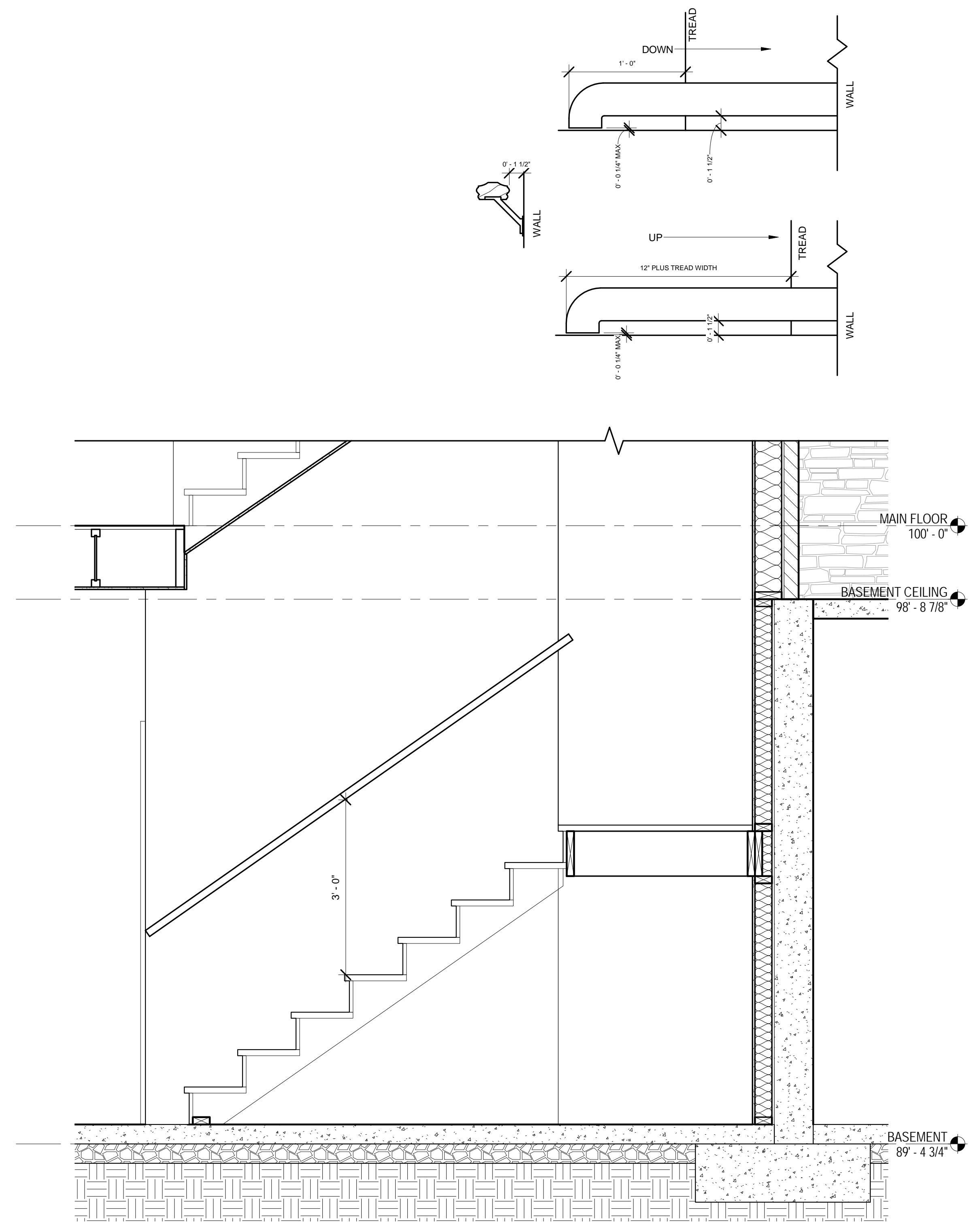
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A

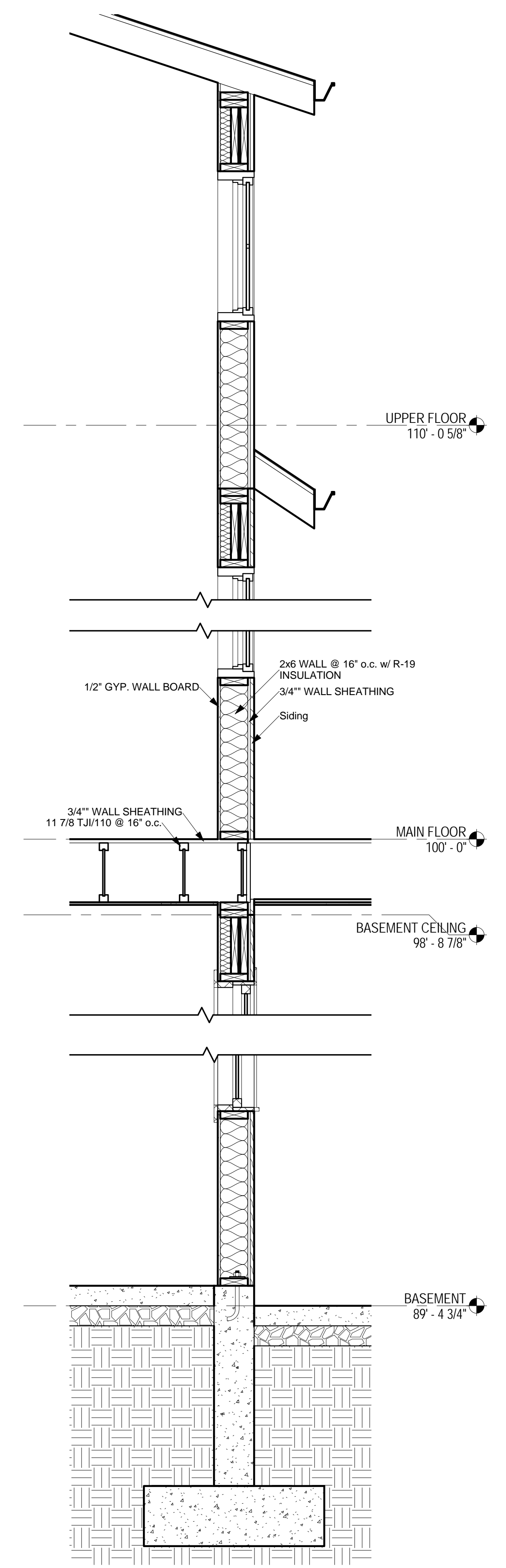
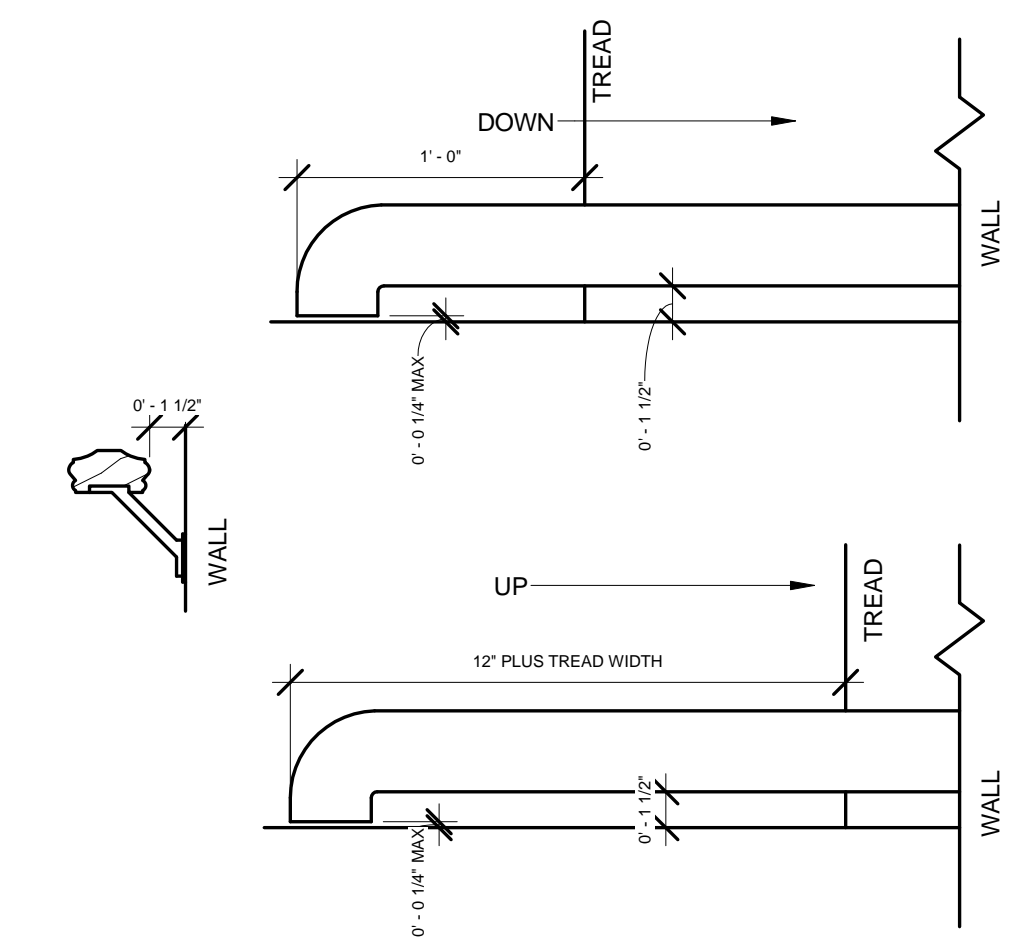
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C

D



2 STAIR SECTION  
SCALE: 3/4" = 1'-0"



1 WALL SECTION  
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION



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**LOCKWOOD RESIDENCE**  
Lot 78 Steeple Chase

PROJECT INFO	
Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

REVISIONS	

SHEET NAME	
SECTIONS	

**AE311**

PROJECT INFO	
Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

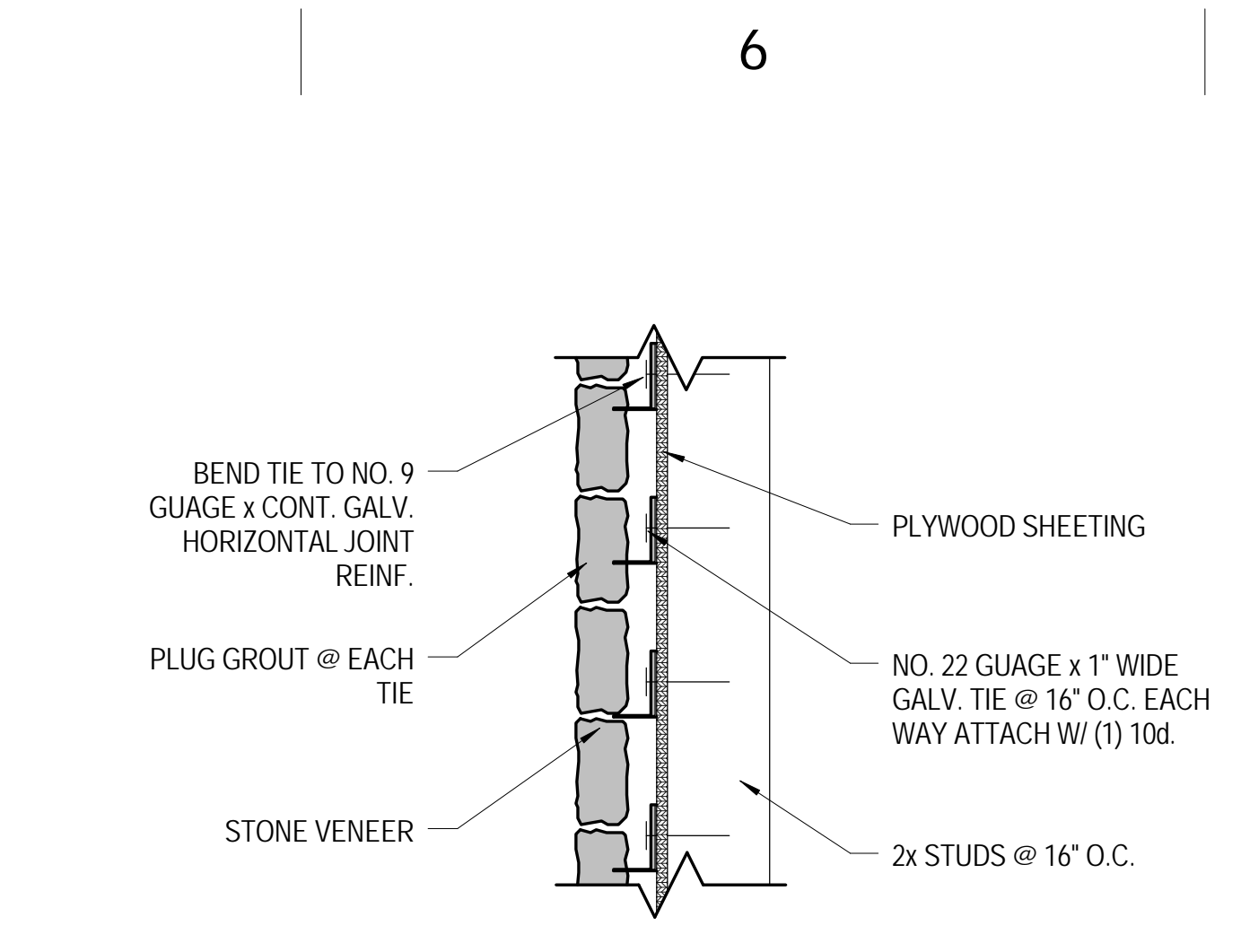
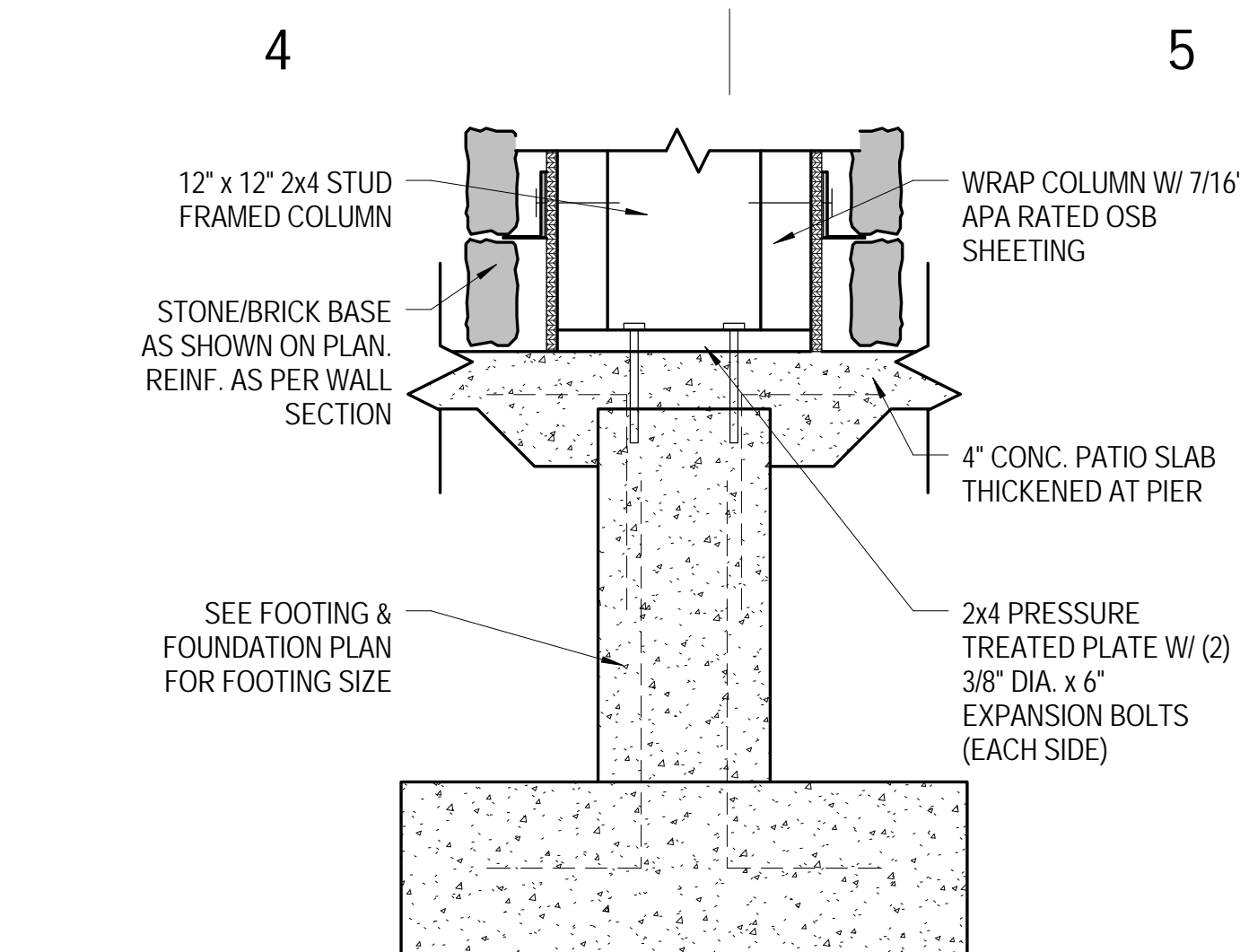
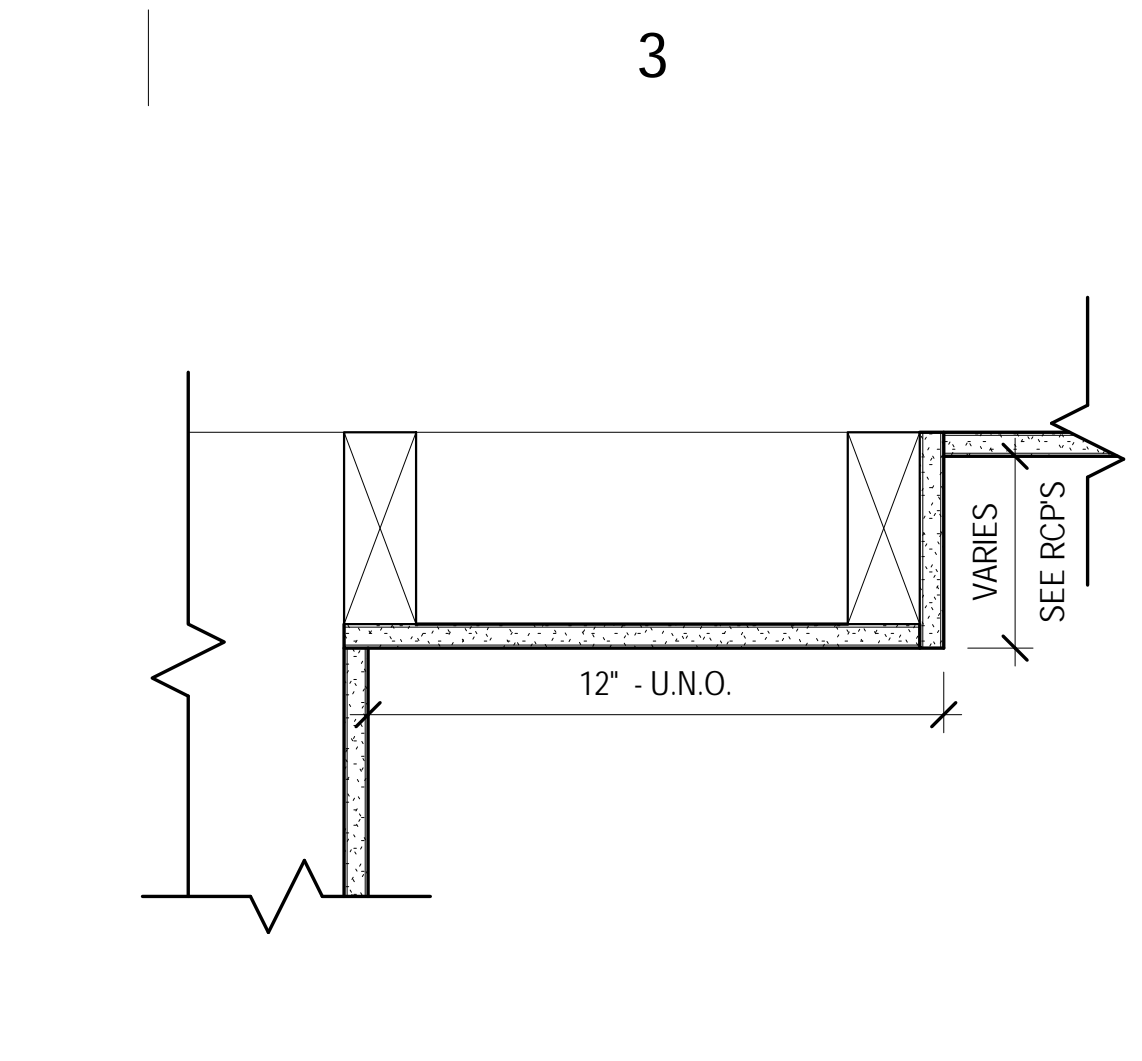
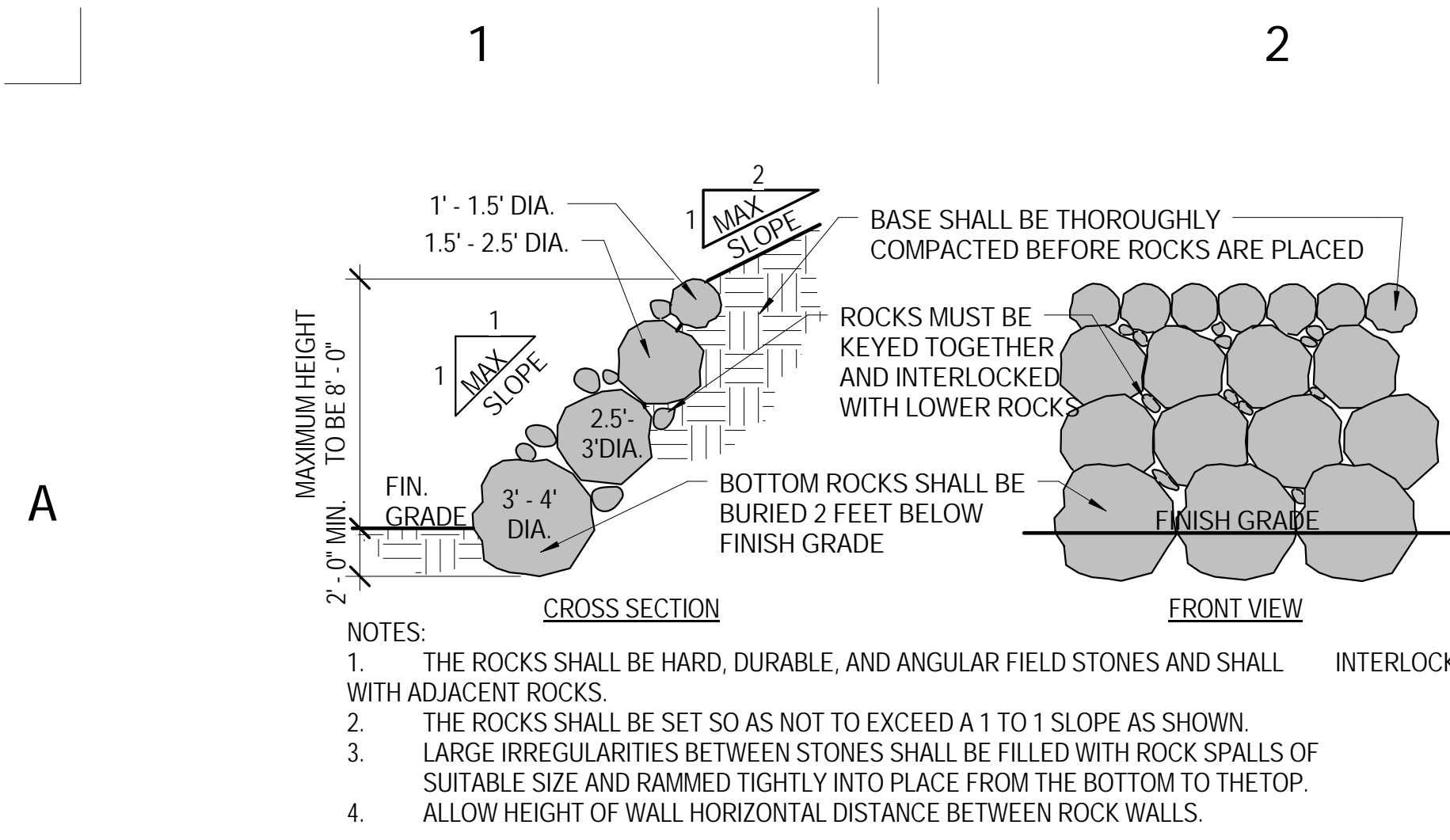
**REVISIONS**

NO.	DESCRIPTION

**SHEET NAME**  
DETAILS

**AE501**

NOT FOR CONSTRUCTION



**1** SCALE: 1:1

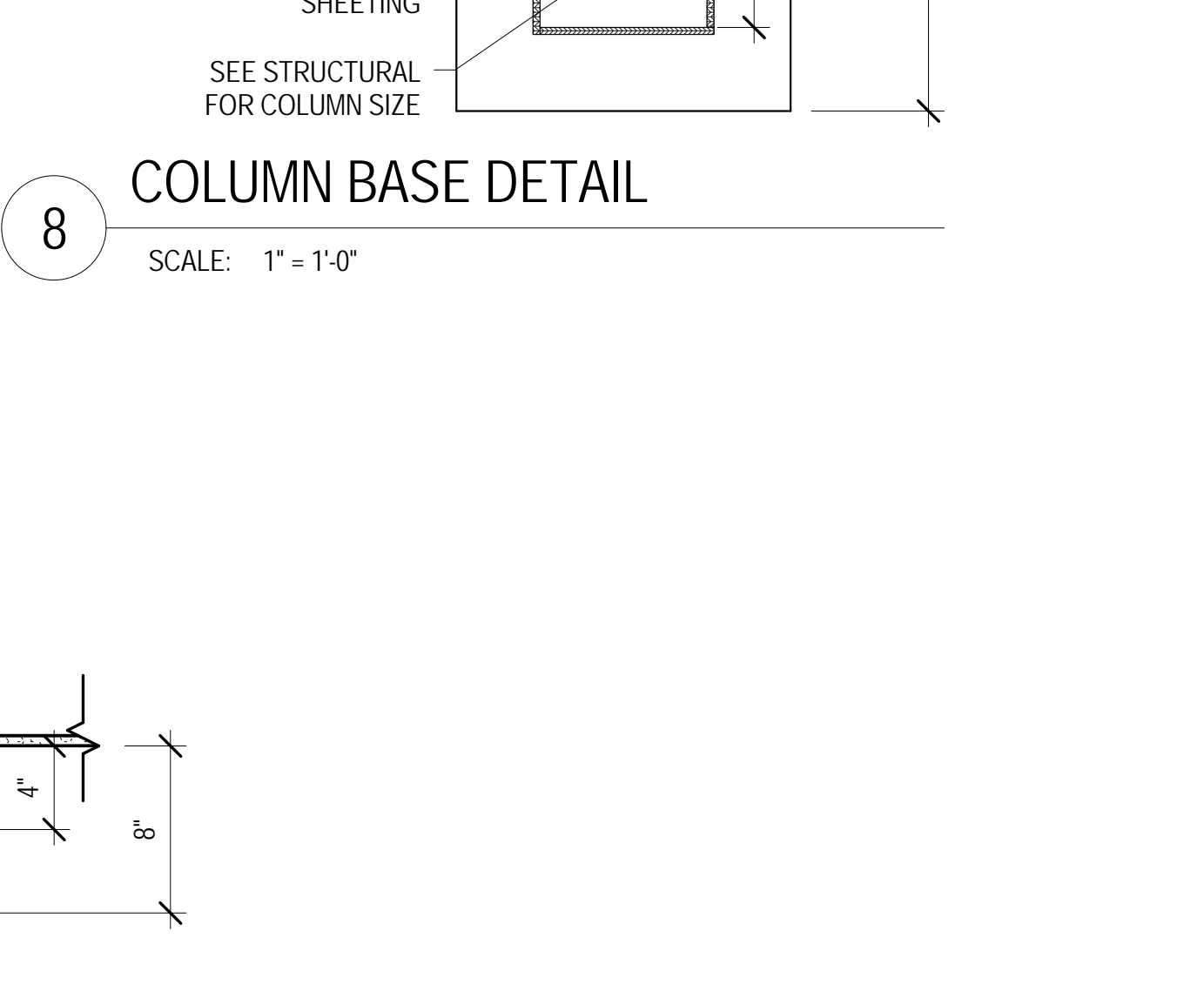
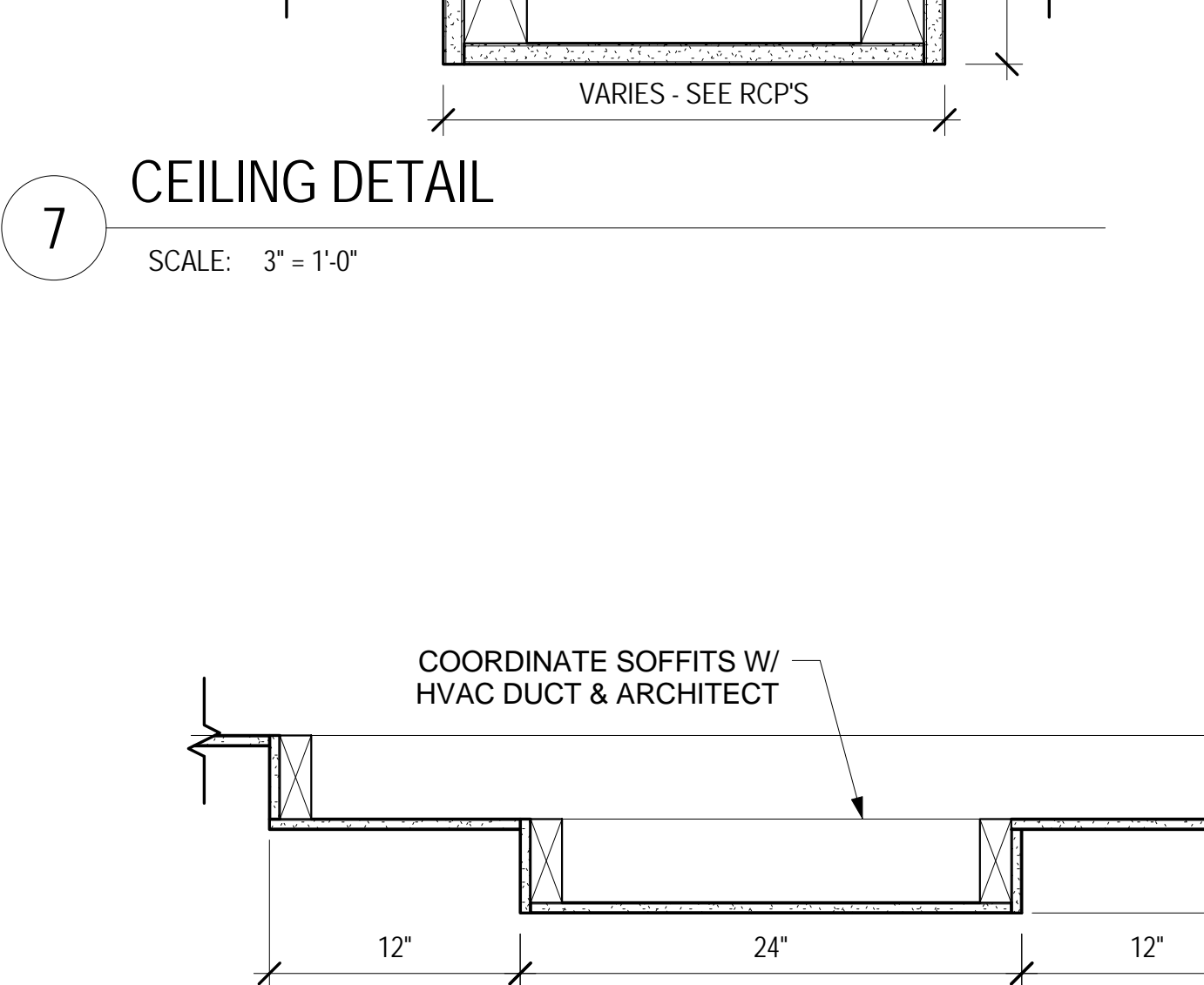
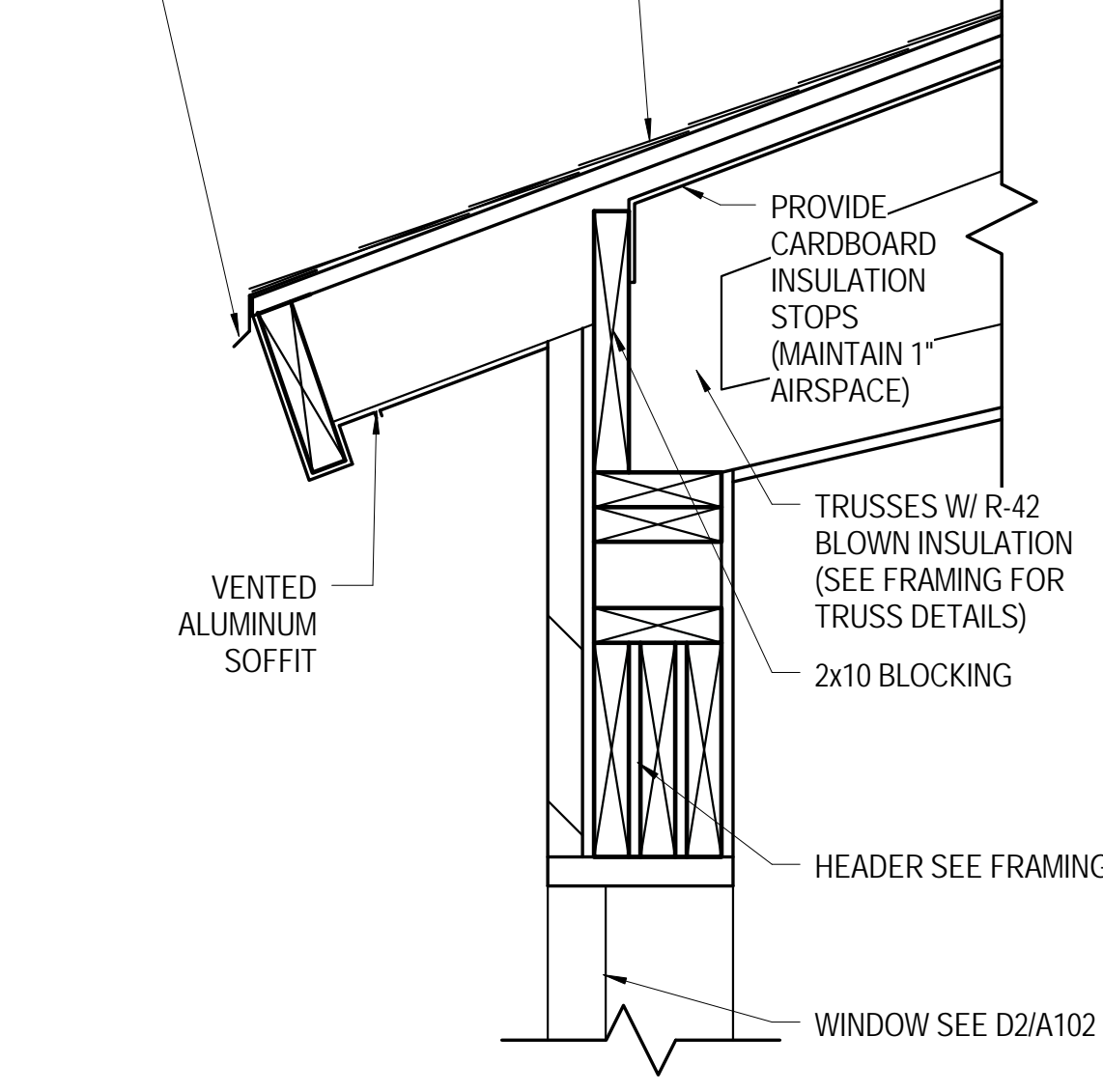
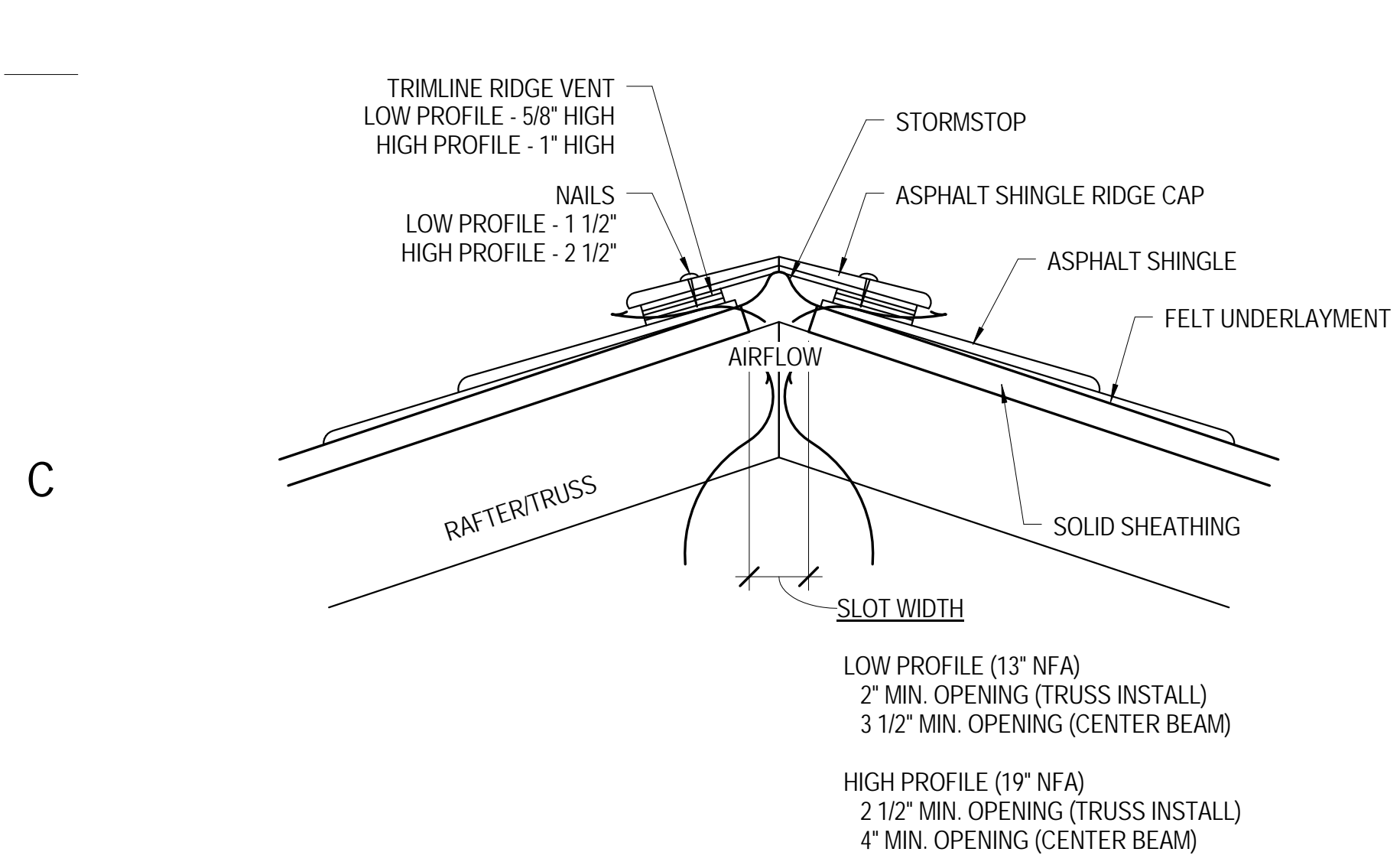
**2** SCALE: 3" = 1'-0"

**3** SCALE: 1" = 1'-0"

**4** SCALE: 1" = 1'-0"

**Vent Calculations:**  
Based on 1/300 ratio due to the use of ridge and soffit vents.

Attic Area (Calculated by taking roof area):	3520 SF
Garage Roof:	928 SF
Main Upper Roof:	1946 SF
Master Suite Roof:	646 SF
Attic Area/300:	11.74 SF
Intake Net Free:	5.87 SF (845.28 sq. in.)
Exhaust Net Free:	5.87 SF (845.28 sq. in.)
Required Intake (12 sq. in.):	70.44 LF
Required Exhaust (18 sq. in.):	46.96 LF
Attic Vent LF:	146 LF
Ridge Vent LF:	151 LF

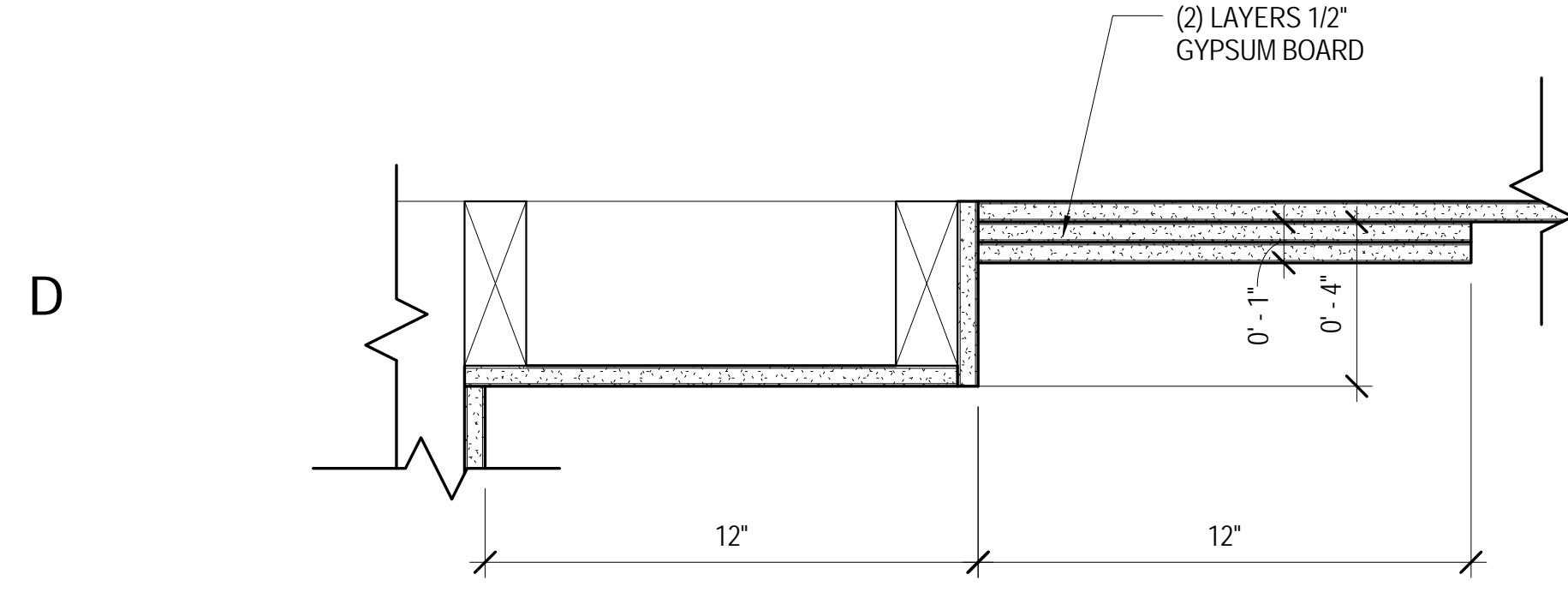


**5** SCALE: 3" = 1'-0"

**6** SCALE: 1 1/2" = 1'-0"

**9** SCALE: 1 1/2" = 1'-0"

**8** SCALE: 1" = 1'-0"



**10** SCALE: 3" = 1'-0"

A

WINDOW SCHEDULE						
Type Mark	Count	Rough Opening		Type	Head Height	Comments
		Width	Height			
11	3	2' - 6"	2' - 6"	S_Casement_2x2	6' - 10 1/4"	
18	14	2' - 0"	2' - 0"	S_Casement_2x2	VARIES	
20	6	2' - 0"	4' - 0"	Double Hung with Trim	VARIES	
26	1	3' - 0"	2' - 0"	Double Hung with Trim	7' - 8 1/4"	
30	3	1' - 4"	1' - 4"	S_Casement_2x2	7' - 8 1/4"	TRANSLUCENT
31	2	3' - 0"	5' - 0"	Double Hung with Trim	8' - 2 7/8"	
32	1	3' - 0"	2' - 0"	S_Casement_2x2	VARIES	
33	1	3' - 0"	4' - 0"	Slider with Trim	7' - 8 1/4"	
38	3	4' - 0"	4' - 0"	Slider with Trim	VARIES	
43	1	3' - 0"	4' - 0"	Slider with Trim 2	7' - 0"	
48	2	4' - 0"	4' - 0"	Slider with Trim 2		
49	2	2' - 6"	5' - 0"	Slider with Trim 2	7' - 8 1/4"	
50	14	2' - 0"	5' - 0"	S_Casement_2x2_Above	7' - 8 1/4"	
51	6	2' - 6"	2' - 6"	S_Casement_2x2	4' - 2 3/4"	
52	3	3' - 0"	5' - 0"	Slider with Trim 2	7' - 8 1/4"	
53	1	3' - 0"	3' - 6"	Slider with Trim 2	7' - 8 1/4"	
54	6	2' - 0"	4' - 0"	S_Casement_2x2_Above		

B

DOOR SCHEDULE										
Mark	SIZE		OPERATION	DETAILS			DESCRIPTION	FINISH		NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL		DOOR	FRAME	
2	2' - 6"	7' - 0"	RIGHT-HAND							
3	2' - 6"	7' - 0"	RIGHT-HAND							
4	2' - 6"	7' - 0"	RIGHT-HAND							
5	2' - 6"	7' - 0"	LEFT-HAND							
6	2' - 6"	7' - 0"	RIGHT-HAND							
7	2' - 8"	7' - 0"	RIGHT-HAND							
8	2' - 6"	7' - 0"	LEFT-HAND							
9	2' - 6"	7' - 0"	LEFT-HAND							
10	3' - 0"	7' - 0"	RIGHT-HAND							
11	3' - 0"	6' - 8"	LEFT-HAND							
12	6' - 0"	6' - 6"	FRENCH							
13	2' - 0"	6' - 0"								
14	18' - 0"	10' - 0"	OVERHEAD							
15	3' - 0"	7' - 0"	LEFT-HAND							
16	10' - 0"	10' - 0"	OVERHEAD							
17	10' - 0"	10' - 0"	OVERHEAD							
18	3' - 0"	7' - 0"	LEFT-HAND							
19	6' - 0"	7' - 8"	FRENCH							
20	6' - 0"	7' - 8"	FRENCH							
21	5' - 0"	6' - 8"								
22	4' - 0"	6' - 8"								
23	2' - 6"	7' - 0"								
24	5' - 0"	6' - 8"								
25	2' - 8"	7' - 0"								
26	2' - 8"	7' - 0"								
27	2' - 6"	7' - 0"								
28	2' - 6"	7' - 0"								
29	2' - 6"	7' - 0"								
30	2' - 0"	7' - 0"								
31	2' - 8"	7' - 0"								
33	2' - 6"	6' - 8"								
35	2' - 6"	6' - 8"								
36	5' - 0"	6' - 8"								
37	3' - 0"	6' - 8"								
38	6' - 0"	6' - 8"								
39	2' - 6"	6' - 8"								
40	3' - 0"	6' - 8"								
41	3' - 0"	6' - 8"								
42	2' - 6"	6' - 8"								
43	5' - 0"	6' - 8"								
44	6' - 0"	6' - 8"								
45	2' - 0"	6' - 8"								
46	2' - 6"	6' - 8"								

Grand total: 43

D

HOLD DOWN SCHEDULE	
Mark	Hold Down
▲	HPAHD22
●	STAD10

Shear Wall Schedule		Fasteners			Bolts	
Mark	Sheathing	Nail	Edge	Field	DIA	Length
①	7/16"	8d	6"	12"	1/2"	10"
②	7/16"	8d	4"	12"	1/2"	10"
③	7/16"	8d	3"	3"	1/2"	10"

Beam Schedule

Mark	Size	Grade
B4	2-2 x10	DF #2
B5	2- 1 3/4 x 9 1/2	LSL 1500Fb
B6	2- 1 3/4 x 11 7/8	LVL 2800 Fb
B7	2- 1 3/4 x 14	LVL 2800 Fb
B9	5 1/8 x 16 1/2	GLB 24 Fb

FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HT	COMMENTS
				NORTH	SOUTH	EAST	WEST			
201	BEDROOM 3								10' - 0"	
202	STUDY								10' - 0"	
203	UTILITY RM								10' - 0"	
204	STORAGE								10' - 0"	
205	BATHROOM 3								10' - 0"	
206	BEDROOM 4								10' - 0"	
101	BREAKFAST NOOK								10' - 0"	
102	KITCHEN								10' - 0"	
103	GREAT ROOM								10' - 0"	
104	MASTER SUITE								10' - 0"	
105	STUDY								10' - 0"	
106	ENTRY								10' - 0"	
107	PDWR RM								10' - 0"	
108	MUD ROOM								10' - 0"	
109	BATHROOM 2								10' - 0"	
110	BEDROOM 2								10' - 0"	
001	KITCHENETTE								9' - 2"	
002	ENTERTAINMENT ROOM								9' - 2"	
003	OFFICE								9' - 2"	
004	EXERCISE ROOM								9' - 2"	
005	COLD STORAGE								8' - 0"	
006	STORAGE								9' - 2"	
007	UTILITY ROOM								9' - 2"	
008	BATHROOM 1								9' - 2"	
009	BEDROOM 1								9' - 2"	

Grand total: 25

241' - 5"

ROOM SCHEDULE				
NUMBER	NAME	AREA	CEILING HT	LEVEL
001	KITCHENETTE	113 SF	9' - 2"	BASEMENT
002	ENTERTAINMENT ROOM	816 SF	9' - 2"	BASEMENT
003	OFFICE	172 SF	9' - 2"	BASEMENT
004	EXERCISE ROOM	412 SF	9' - 2"	BASEMENT
005	COLD STORAGE	130 SF	8' - 0"	BASEMENT
006	STORAGE	76 SF	9' - 2"	BASEMENT
007	UTILITY ROOM	49 SF	9' - 2"	BASEMENT
008	BATHROOM 1	117 SF	9' - 2"	BASEMENT
009	BEDROOM 1	168 SF	9' - 2"	BASEMENT
101	BREAKFAST NOOK	109 SF	10' - 0"	MAIN FLOOR
102	KITCHEN	494 SF	10' - 0"	MAIN FLOOR
103	GREAT ROOM	292 SF	10' - 0"	MAIN FLOOR
104	MASTER SUITE	530 SF	10' - 0"	MAIN FLOOR
105	STUDY	79 SF	10' - 0"	MAIN FLOOR
106	ENTRY	82 SF	10' - 0"	MAIN FLOOR
107	PDWR RM	38 SF	10' - 0"	MAIN FLOOR
108	MUD ROOM	78 SF	10' - 0"	MAIN FLOOR
109	BATHROOM 2	42 SF	10' - 0"	MAIN FLOOR
110	BEDROOM 2	170 SF	10' - 0"	MAIN FLOOR
201	BEDROOM 3	210 SF	10' - 0"	UPPER FLOOR
202	STUDY	346 SF	10' - 0"	UPPER FLOOR
203	UTILITY RM	30 SF	10' - 0"	UPPER FLOOR
204	STORAGE	34 SF	10' - 0"	UPPER FLOOR
205	BATHROOM 3	120 SF	10' - 0"	UPPER FLOOR
206	BEDROOM 4	181 SF	10' - 0"	UPPER FLOOR

Grand total: 25

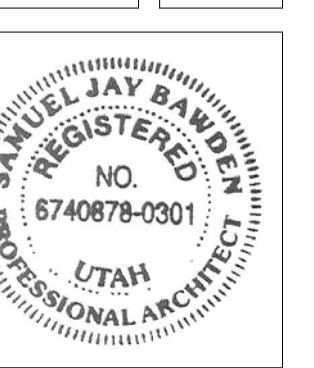
4887 SF

FOOTING SCHEDULE											
MARK	WIDTH	LENGTH	THICK	CROSSWISE REINFORCING				LENGTHWISE REINFORCING			
				No.	Size	Length	Spacing	No.	Size	Length	Spacing
F-18	18"	CONT.	9"					2	#4	CONT.	12" O.C.
F-20	20"	CONT.	10"					2	#4	CONT.	18" O.C.
F-24	24"	CONT.	10"					2	#4	CONT.	18" O.C.
F-30	30"	30"	12"	#4	24"	12" O.C.		3	#4	30"	12" O.C.
F-36	36"	36"	12"	3"	#4	30"	12" O.C.	3	#4	36"	12" O.C.
F-50	50"	50"	12"	4"	#4	46"	16" O.C.	4	#4	50"	16" O.C.

FOUNDATION SCHEDULE					
MAX HEIGHT	TOP EDGE SUPPORT	MIN. THICKNESS	VERTICAL STEEL	HORIZONTAL STEEL	STEEL AT OPENINGS
2 FT	NONE	8"	#4 @ 32" O.C.	3- #4 BARS	2- #4 BARS TOP
4 FT			#4 @ 32" O.C.	4- #4 BARS	1- #4 BAR EACH SIDE
6 FT			#4 @ 24" O.C.	5- #4 BARS	1- #4 BAR BOTTOM
8 FT			#4 @ 16" O.C.	6- #4 BARS	
9 FT			#4 @ 16" O.C.	7- #4 BARS	
OVER 9 FT	ENGINEERING REQUIRED				



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LOCKWOOD RESIDENCE

Lot 78 Steeple Chase

PROJECT INFO	
Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

REVISIONS	

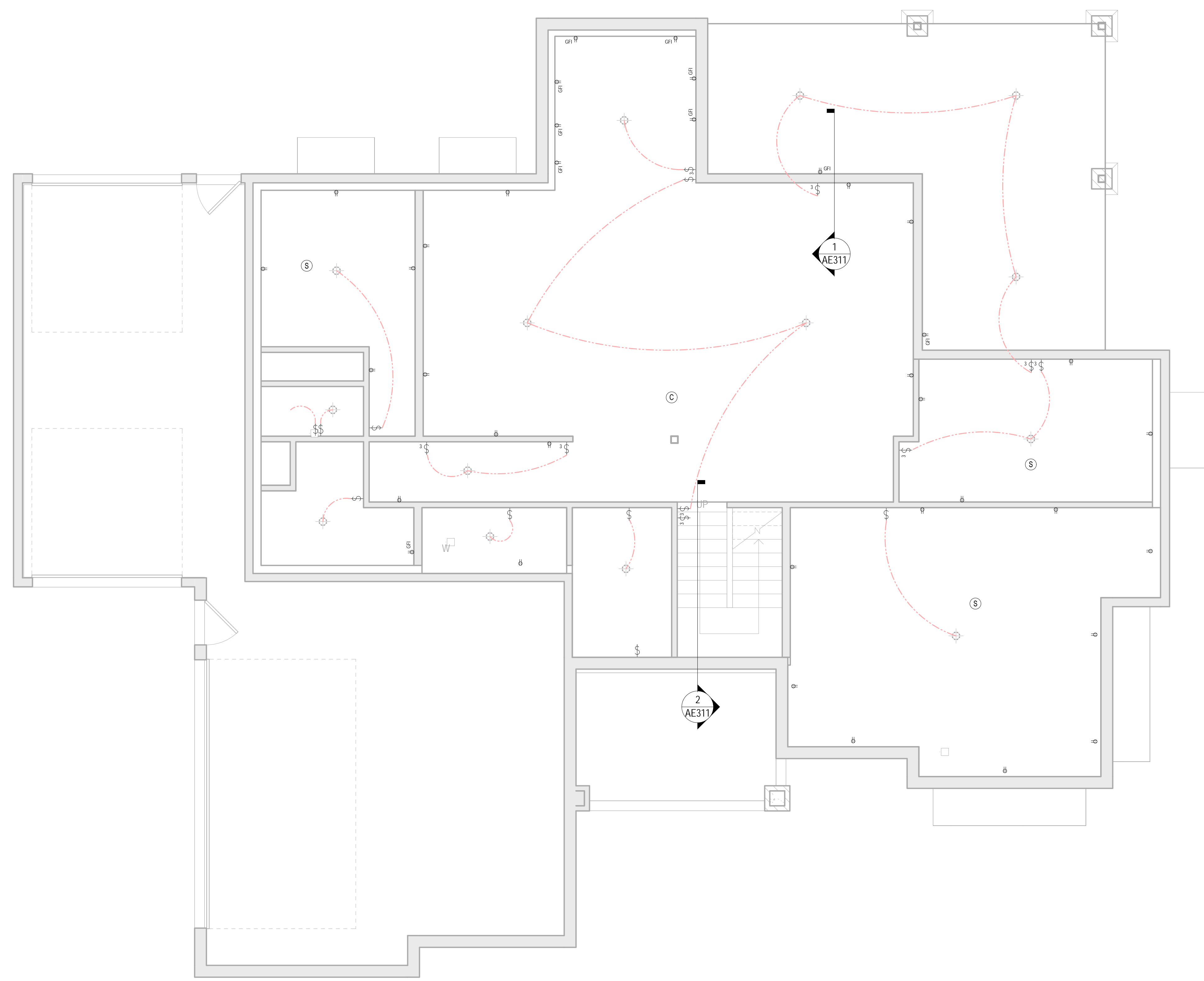
SHEET NAME  
SCHEDULES

AE601

BUILDING PERMIT SET

1 2 3 4 5 6

A  
B  
C  
D



1 BASEMENT ELECTRICAL  
SCALE: 1/4" = 1'-0"

**ELECTRICAL & HVAC NOTES**

1. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
2. ALL PLUGS MUST BE TAMPER RESISTANT.
3. UFER GROUND REQUIRED.
4. PROVIDE 110 VOLT, WIRED IN SERIES, BATTERY BACK-UP SMOKE DETECTOR IN EACH BEDROOM AND IN HALLWAY ADJACENT TO BEDROOM(S), AND AT EACH FLOOR LEVEL OF HOME.
5. PROVIDE 110 VOLT, WIRED IN SERIES, BATTERY BACK-UP CARBON MONOXIDE ALARM ON EVERY FLOOR LEVEL WHEN FUEL BURNING APPLIANCES ARE INSTALLED.
6. PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS. ONE DUCT WITHIN 12" OF CEILING AND SIZED 1 sq. INCH PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES MAY BE USED WHEN ALL APPLIANCES HAVE A 1" CLEARANCE ON ALL SIDES AND 6" CLEARANCE IN FRONT OF APPLIANCE.

- FLUORESCENT FIXTURE
- PENDANT FIXTURE
- EXTERIOR WALL MOUNTED FIXTURE
- RECESSED FIXTURE
- CEILING FIXTURE
- WALL MOUNTED FIXTURE
- EXHAUST FAN
- CEILING FAN
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- GARAGE DOOR OPENER
- DUPLEX RECEPTACLE OUTLET
- GFI DUPLEX RECEPTACLE OUTLET
- WEATHER PROOF GFI DUPLEX RECEPTACLE OUTLET
- RANGE RECEPTACLE OUTLET
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- THERMOSTAT
- LIGHTING AND POWER PANELBOARD

**ELECTRICAL GENERAL NOTES:**

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
2. ELECTRICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
3. ALL TELEVISION OUTLETS ARE TO BE INSTALLED W/ A SEPARATE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE ANTENNA IN ATTIC W/ SINGLE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE COAXIAL CABLE FROM MECHANICAL ROOM TO EXTERIOR FOR FUTURE CABLE TELEVISION HOOKUP. HOOK UP TELEVISION CABLES IN MECHANICAL ROOM TO DESIRED (ANTENNA CABLE) CHOICE. PROVIDE T.V. CONNECTION TO PANEL ON WALL IN MECHANICAL ROOM.
4. ELECTRICAL CONTRACTOR TO PROVIDE A MINIMUM OF 200 AMP SERVICE TO HOME.
5. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH METAL DUCT. PROVIDE WHITE METAL EXTERIOR TERMINATION CAP.
6. ALL SMOKE DETECTORS SHALL BE WIRED TOGETHER FOR SIMULTANEOUS ALERT SOUNDING. DETECTORS SHALL ALSO BE WIRED TO BUILDING PRIMARY POWER WITH BATTERY BACKUP. ALL SLEEPING ROOMS AT ALL LEVELS TO HAVE SMOKE DETECTORS.
7. SIZE ELECTRICAL PANEL SUFFICIENTLY LARGE ENOUGH TO HANDLE FUTURE BREAKERS WHEN BASEMENT IS FINISHED.
8. PROVIDE (4) PAIR CABLE TO ALL TELEPHONE OUTLETS. HOME RUN ALL TELEPHONE LINES TO MECHANICAL ROOM. PROVIDE 66 STYLE PUNCH DOWN BLOCK WALL MOUNTED FINAL CONNECTIONS.
9. ALL BATHROOM OUTLETS TO BE ON SEPARATE 20 AMP BREAKERS NOT TO EXCEED 2003 N.E.C. REQUIREMENTS.
10. CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL FRAMING SUPPORT.
11. GARAGE ELECTRICAL OUTLETS TO BE 18" ABOVE FLOOR.
12. PROVIDE METALLIC WATER SERVICE OR A CONCRETE ENCASED ELECTRODE (UFER GROUND), AVAILABLE FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE WHICH MEETS REQUIREMENTS OF 2003 N.E.C. SECTION 250-50 (C).
13. PROVIDE ARC FAULTS PROTECTION ON ALL BEDROOM LIGHTS, SWITCHES, SMOKE DETECTORS AND RECEPTACLES. THESE NEED TO BE THE COMBINATION TYPE.
14. PROVIDE COUNTERTOP OUTLETS TO BE WITHIN 2' OF ANY POINT ALONG WALL.



**Samuel J. Bawden, Architect LLC**  
385 East 1500 South, Bountiful, Utah 84010  
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**LOCKWOOD RESIDENCE**  
Lot 78 Steeple Chase

**PROJECT INFO**

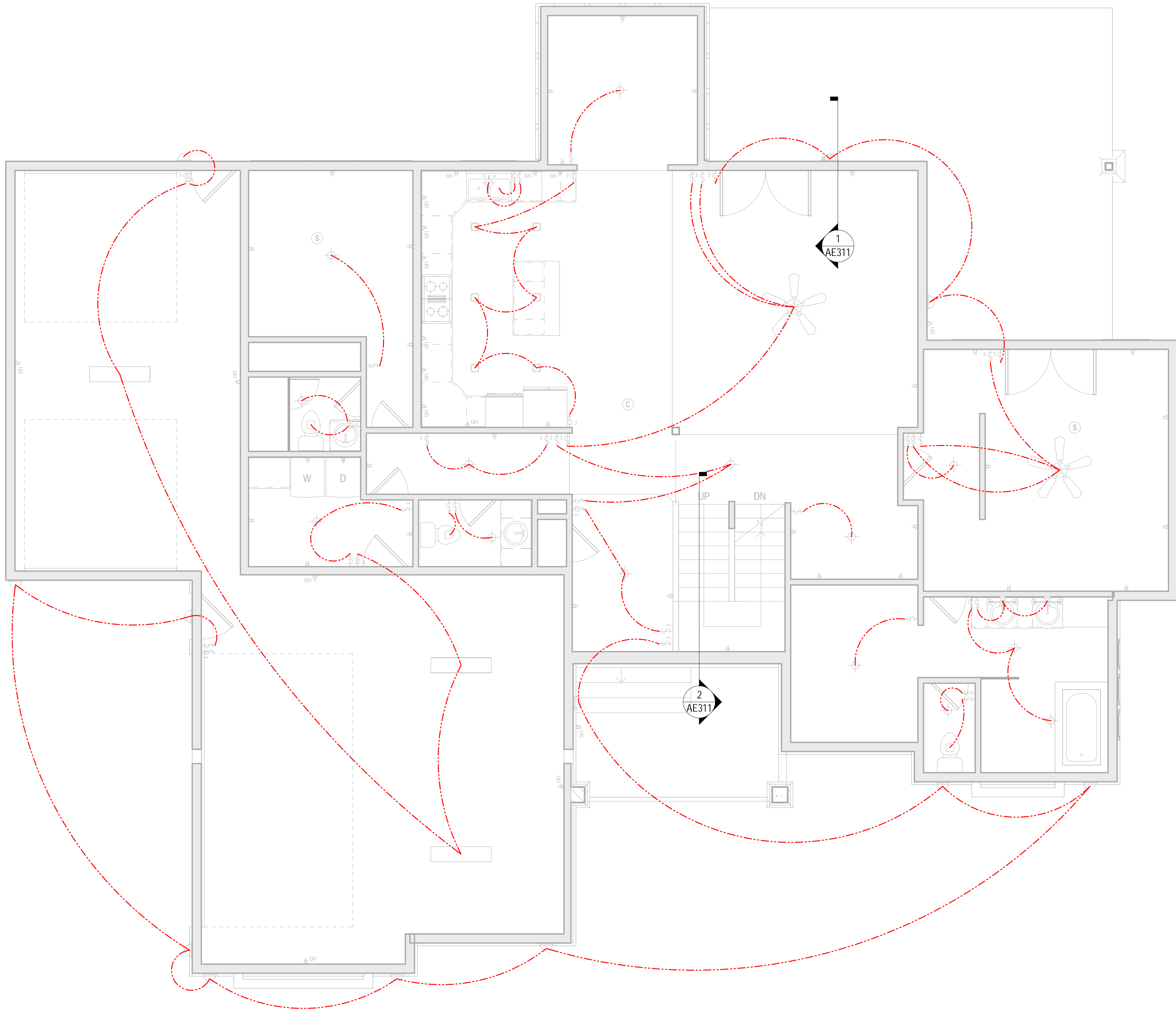
Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**


**SHEET NAME**  
BASEMENT ELECTRICAL PLAN

**E101**

NOT FOR CONSTRUCTION



1 MAIN FLOOR ELECTRICAL  
SCALE: 1/4" = 1'-0"

**ELECTRICAL & HVAC NOTES**

1. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
2. ALL PLUGS MUST BE TAMPER RESISTANT.
3. UFER FROUND REQUIRED.
4. PROVIDE 110 VOLT, WIRED IN SERIES, BATTERY BACK-UP SMOKE DETECTOR IN EACH BEDROOM AND IN HALLWAY ADJACENT TO BEDROOM(S), AND AT EACH FLOOR LEVEL OF HOME.
5. PROVIDE 110 VOLT, WIRED IN SERIES, BATTERY BACK-UP CARBON MONOXIDE ALARM ON EVERY FLOOR LEVEL WHEN FUEL BURNING APPLIANCE'S ARE INSTALLED.
6. PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS. ONE DUCT WITHIN 12" OF CEILING AND SIZED 1 sq. INCH PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES MAY BE USED WHEN ALL APPLIANCES HAVE A 1" CLEARANCE ON ALL SIDES AND 6" CLEARANCE IN FRONT OF APPLIANCE.

- FLUORESCENT FIXTURE
- ⊙ PENDANT FIXTURE
- ⊕ EXTERIOR WALL MOUNTED FIXTURE
- RECESSED FIXTURE
- ⊕ CEILING FIXTURE
- WALL MOUNTED FIXTURE
- EXHAUST FAN
- ⊕ CEILING FAN
- ⊙ SINGLE POLE SWITCH
- ⊙ 3-WAY SWITCH
- ⊙ GARAGE DOOR OPENER
- ⊙ DUPLEX RECEPTACLE OUTLET
- ⊙ GFI DUPLEX RECEPTACLE OUTLET
- ⊙ WPGFI WEATHER PROOF GFI DUPLEX RECEPTACLE OUTLET
- ⊙ RANGE RECEPTACLE OUTLET
- ⊙ SMOKE DETECTOR
- ⊙ CARBON MONOXIDE DETECTOR
- ⊙ THERMOSTAT
- LIGHTING AND POWER PANELBOARD

**ELECTRICAL GENERAL NOTES:**

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
2. ELECTRICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
3. ALL TELEVISION OUTLETS ARE TO BE INSTALLED W/ A SEPARATE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE ANTENNA IN ATTIC W/ SINGLE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE COAXIAL CABLE FROM MECHANICAL ROOM TO EXTERIOR FOR FUTURE CABLE TELEVISION HOOKUP. HOOK UP TELEVISION CABLES IN MECHANICAL ROOM TO DESIRED (ANTENNA CABLE) CHOICE. PROVIDE T.V. CONNECTION TO PANEL ON WALL IN MECHANICAL ROOM.
4. ELECTRICAL CONTRACTOR TO PROVIDE A MINIMUM OF 200 AMP SERVICE TO HOME.
5. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH METAL DUCT. PROVIDE WHITE METAL EXTERIOR TERMINATION CAP.
6. ALL SMOKE DETECTORS SHALL BE WIRED TOGETHER FOR SIMULTANEOUS ALERT SOUNDING. DETECTORS SHALL ALSO BE WIRED TO BUILDING PRIMARY POWER WITH BATTERY BACKUP. ALL SLEEPING ROOMS AT ALL LEVELS TO HAVE SMOKE DETECTORS.
7. SIZE ELECTRICAL PANEL SUFFICIENTLY LARGE ENOUGH TO HANDLE FUTURE BREAKERS WHEN BASEMENT IS FINISHED.
8. PROVIDE (4) PAIR CABLE TO ALL TELEPHONE OUTLETS. HOME RUN ALL TELEPHONE LINES TO MECHANICAL ROOM. PROVIDE 66 STYLE PUNCH DOWN BLOCK WALL MOUNTED FINAL CONNECTIONS.
9. ALL BATHROOM OUTLETS TO BE ON SEPARATE 20 AMP BREAKERS NOT TO EXCEED 2003 N.E.C. REQUIREMENTS.
10. CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL FRAMING SUPPORT.
11. GARAGE ELECTRICAL OUTLETS TO BE 18" ABOVE FLOOR.
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**LOCKWOOD RESIDENCE**

Lot 78 Steeple Chase

**PROJECT INFO**

Project #:	0003
Date:	3/24/2011
Drawn By:	BA
Reviewed By:	-
P.M.:	-

**REVISIONS**


**SHEET NAME**

MAIN FLOOR ELECTRICAL

**E102**

NOT FOR CONSTRUCTION

1

2

3

4

5

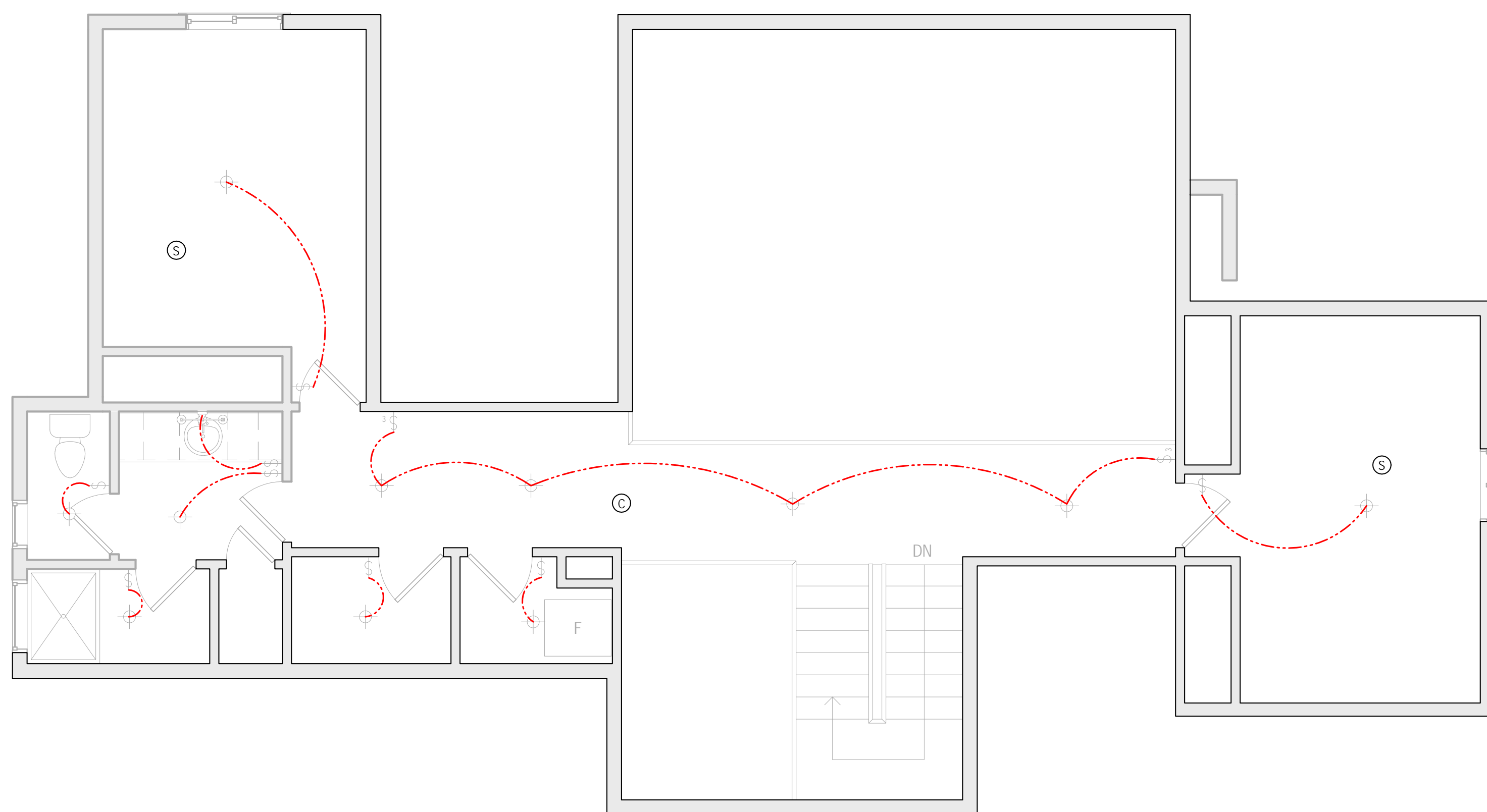
6

A

B

C

D



**1** UPPER FLOOR ELECTRICAL  
SCALE: 1/4" = 1'-0"

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Lot 78 Steeple Chase

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Date:	3/24/2011
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Reviewed By:	-
P.M.:	-

**REVISIONS**


**SHEET NAME**

UPPER FLOOR ELECTRICAL

**E103**

NOT FOR CONSTRUCTION